

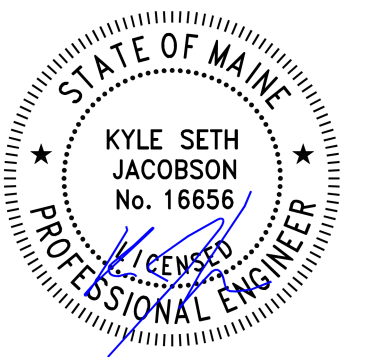
PERMITTING DRAWINGS

FOR

LOT 22

LIBBY HILL BUSINESS PARK GARDINER, MAINE

JULY 2022



REV.	DATE	REVISION DESCRIPTION

DESIGNED BY: KSJ
DRAWN BY: PMG
CHECKED BY: PJC
DATE: 7/20/2022
FILE NAME: 1172-0002 COV02.dwg

PROJECT NAME:

LOT 22
LIBBY HILL BUSINESS PARK
12 TROIANO WAY
GARDINER, MAINE

CLIENT:

GARDINER TRANSFER
COMPANY, LLC
PO BOX 3541
PORTLAND, MAINE

SHEET TITLE:

COVER
SHEET

SHEET NO:

C-001



PROFESSIONAL CONTACTS:

APPLICANT :
GARDINER TRANSFER COMPANY, LLC
PO BOX 3541
PORTLAND, ME 04104
(207) 767-2070
CONTACT: TJ TROIANO

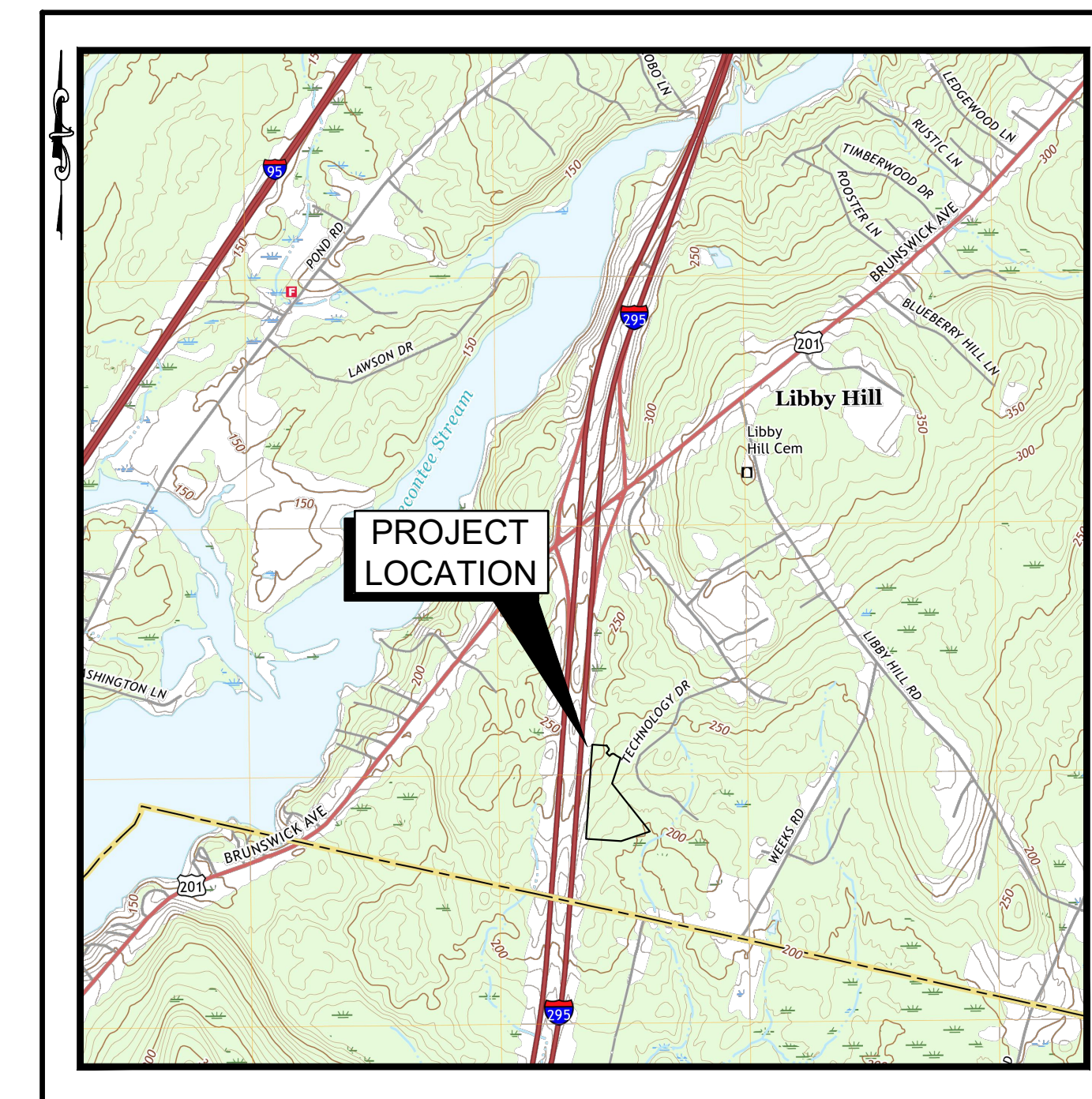
ENGINEERING & DESIGN:
ST.GERMAIN
846 MAIN STREET
WESTBROOK, ME 04092
(207) 591-7000
CONTACT: KYLE JACOBSON, PE#16656
CONTACT: ELLEN RATHBONE

SURVEYOR:
BOUNDARY ENGINEERING SURVEY TECHNOLOGY
25 TUBROS LANE
BUXTON, ME 04093
(207) 929-2378
CONTACT: RICHARD HAMILTON, PLS#2336

WETLAND SCIENTIST:
STANTEC
30 PARK DRIVE
TOPSHAM, ME 04086
(207) 406-5496
CONTACT: TOM TETREAU, NHCWS#283, PWS

DRAWING LIST:

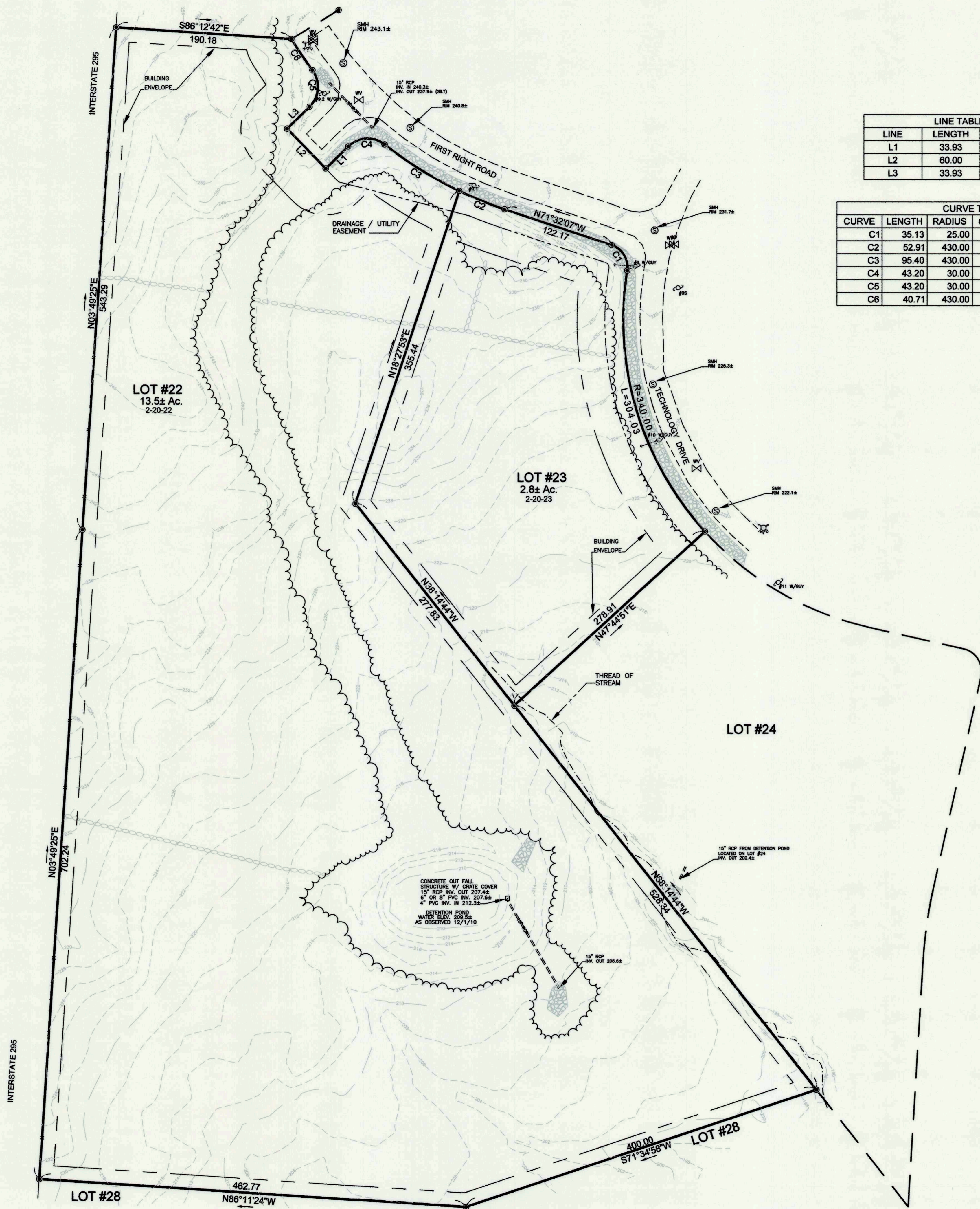
- C-001 COVER SHEET
- EXISTING CONDITIONS SURVEY
- EXISTING CONDITIONS PLAN
- C-101 SITE PLAN
- C-102 GRADING, DRAINAGE, UTILITIES, & EROSION CONTROL PLAN
- C-103 GRADING, DRAINAGE, UTILITIES, & EROSION CONTROL PLAN
- C-104 GRAVEL WETLAND PLAN
- C-105 EROSION & SEDIMENTATION CONTROL NOTES & DETAILS
- C-501 DETAILS
- C-502 DETAILS
- C-503 PRE-DEVELOPMENT DRAINAGE PLAN
- C-701 POST-DEVELOPMENT DRAINAGE PLAN
- C-702 SITE LIGHTING LAYOUT
- PROPOSED BUILDING ELEVATIONS
- A-101



SITE LOCATION MAP
SCALE: 1" = 2,000'
SOURCE: USGS, GARDINER, MAINE, QUADRANGLE, DATED 2018

BOUNDARY ENGINEERING SURVEY TECHNOLOGY





LINE TABLE		
LINE	LENGTH	BEARING
L1	33.93	S45°43'17\"W
L2	60.00	N44°16'43\"W
L3	33.93	N45°43'17\"E

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	35.13	25.00	32.31	N31°16'28\"W
C2	52.91	430.00	52.88	S68°00'37\"E
C3	95.40	430.00	95.20	S58°07'46\"E
C4	43.20	30.00	39.56	S86°58'25\"W
C5	43.20	30.00	39.56	N04°28'06\"E
C6	40.71	430.00	40.69	S34°04'20\"E

LEGEND

- FOUND REBAR W/ ALUMINUM CAP STAMPED MAINE COAST SURVEYING PLS #1191
- UTILITY POLE (NUMBERED AS INDICATED)
- ⊗ SEWER MANHOLE
- ⊗ WATER VALVE
- ⊗ HYDRANT
- ⊗ STONE WALL
- x-x- WOVEN WIRE FENCE
- ABUTTER OR RIGHT-OF-WAY LINE
- BOUNDARY LINE
- EDGE OF PAVEMENT
- TREE LINE
- RIP-RAP
- 45-6-78 TAX MAP-BLOCK-LOT

NOTES

- DATUM:
HORIZONTAL - BASED UPON PLAN REFERENCED IN NOTE #2. MAINE STATE PLANE WEST (NAD83)
VERTICAL - BASED UPON TBM A FROM RECORD DRAWING - MANHOLE #69 RIM ELEVATION 264.80.
- PROPERTY LINES AS SHOWN ARE BASED UPON PLAN ENTITLED "LIBBY HILL BUSINESS PARK PHASE 2, WEEKS ROAD AND ENTERPRISE AVENUE, GARDINER MAINE. PREPARED BY MAINE COAST SURVEYING, RECORDED IN PLAN BOOK 2007, PAGE 137 & 138 AT THE KENNEBEC COUNTY REGISTRY OF DEEDS.
- OWNERSHIP OF THE PROPERTY SHOWN AS INDICATED BY THE CITY OF GARDINER TAX ASSESSOR'S OFFICE IS THE CITY OF GARDINER AS RECORDED IN DEED BOOK 9125, PAGE 310 KGRD.
- THE PROPERTY SHOWN IS IDENTIFIED ON THE CITY OF GARDINER TAX ASSESSOR'S MAP 2 PARCELS 20-22 & 20-23.
- THE PROPERTY SHOWN IS LOCATED WITHIN THE PLANNED INDUSTRIAL / COMMERCIAL ZONE AS DEFINED BY THE CITY OF GARDINER'S ZONING ORDINANCE.
- BULK AND SPACE REQUIREMENTS FOR THE PLANNED INDUSTRIAL / COMMERCIAL ZONE ARE AS FOLLOWS:
MINIMUM LOT SIZE W/ SEWER 40,000 SF
MINIMUM LOT SIZE W/O SEWER 80,000
MINIMUM ROAD FRONTAGE 200'
MAXIMUM HEIGHT 150'
SETBACKS:
FRONT 50'
SIDE 15'
REAR 15'
- WETLANDS WERE OBSERVED DURING THE COURSE OF PERFORMING THE FIELD SURVEY PER REQUEST OF THE CLIENT WERE NOT LOCATED.

EXISTING CONDITIONS
LOTS 22 & 23
IN
LIBBY HILL BUSINESS PARK
KENNEBEC COUNTY
MAINE

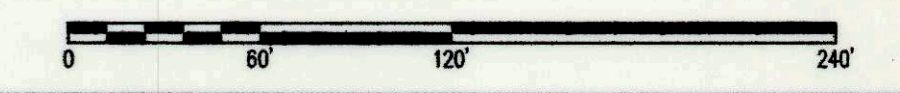
SCALE: 1"=100' JANUARY 11, 2011

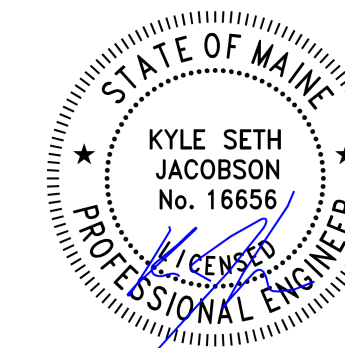
PREPARED FOR:
ST. GERMAIN COLLINS
846 MAIN ST, SUITE 3
WESTBROOK, MAINE 04092



BOUNDARY ENGINEERING SURVEY TECHNOLOGY
25 TUBROS LANE
BUXTON, MAINE 04093
TELEPHONE: 929-BEST
FAX: 929-2379

JOB NUMBER: 010-040 DRAWING FILE: 001-040





- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS FOR FOR TAX MAP 2 LOT 20-22 IN GARDINER, MAINE. THE TOTAL AREA OF THE SUBJECT PARCEL IS 13.49± ACRES.
 2. THE OWNER OF RECORD IS GARDINER TRANSFER COMPANY, LLC, C/O TROIANO WASTE SERVICES, INC, PO BOX 3541, PORTLAND, MAINE 04104 RECORDED IN THE KENNEBEC COUNTY REGISTRY OF DEEDS BOOK 12224 PAGE 103.
 3. PROPERTY BOUNDARIES ARE BASED ON A PLAN ENTITLED "LIBBY HILL BUSINESS PARK PHASE 2, WEEKS ROAD AND ENTERPRISE AVENUE, GARDINER, MAINE" PREPARED BY MAINE COAST SURVEYING AND RECORDED IN THE KENNEBEC COUNTY REGISTRY OF DEEDS PLAN BOOK 2007, PAGE 137 AND 138.
 4. TOPOGRAPHIC INFORMATION IS BASED ON A PLAN ENTITLED "EXISTING CONDITIONS LOTS 22 & 23 LIBBY HILL BUSINESS PARK" BY BOUNDARY ENGINEERING SURVEY TECHNOLOGY, DATED AUGUST 7, 2015. TOPOGRAPHIC ELEVATIONS ARE BASED ON TEMPORARY BENCHMARK A FROM RECORD DRAWING - MANHOLE NO. 69 RIM ELEVATION 264.80. HORIZONTAL DATA BASED ON NAD83 MAINE STATE PLANE WEST DATUM.
 5. WETLAND BOUNDARIES OBTAINED FROM A FIELD SURVEY PERFORMED BY MICHAEL JOHNSON OF WOODLOT ALTERNATIVES, INC ON AUGUST 6, 2004 AND FIELD VERIFIED BY TOM TETREAU, PWS OF STANTEC CONSULTING SERVICES, INC ON DECEMBER 20, 2019.
 6. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THIS PLAN IS APPROXIMATE. ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AS TO THEIR LOCATION, SIZE, AND TYPE BY THE PROPER UTILITY COMPANIES PRIOR TO CONSTRUCTION.
 7. CONTRACTOR TO CONTACT DIG SAFE A MINIMUM 72 HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO CONSTRUCTION.

REV.	DATE	REVISION DESCRIPTION

DESIGNED BY: KSJ
DRAWN BY: PMG
CHECKED BY: PJC
DATE: 7/20/2022
FILE NAME: 1172-0002 STP10.dwg

PROJECT NAME:

LOT 22
LIBBY HILL BUSINESS PARK
12 TROIANO WAY
GARDINER, MAINE

CLIENT:

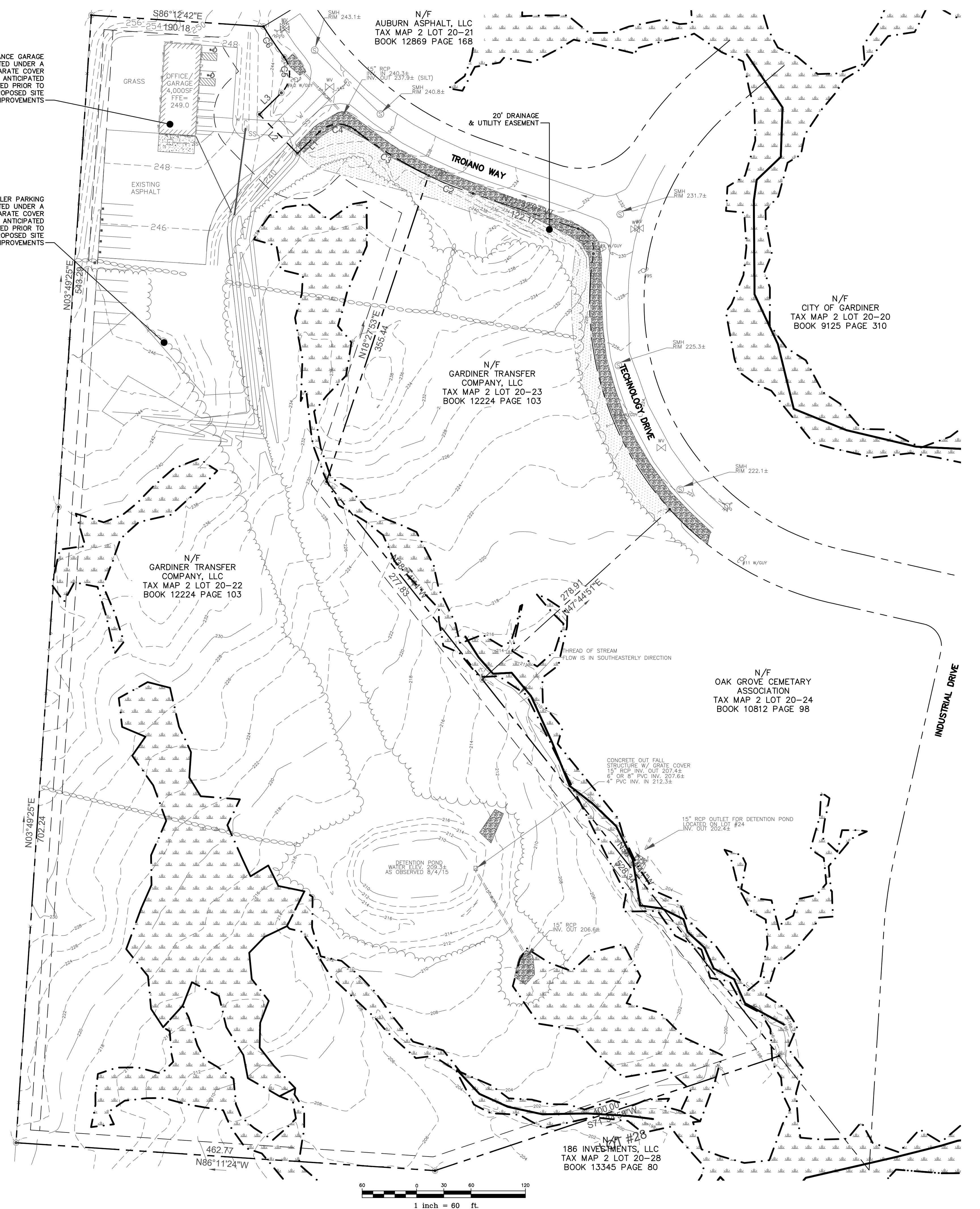
GARDINER TRANSFER
COMPANY, LLC
PO BOX 3541
PORTLAND, MAINE

SHEET TITLE:

**EXISTING
CONDITIONS
PLAN**

SHEET NO:

C-101

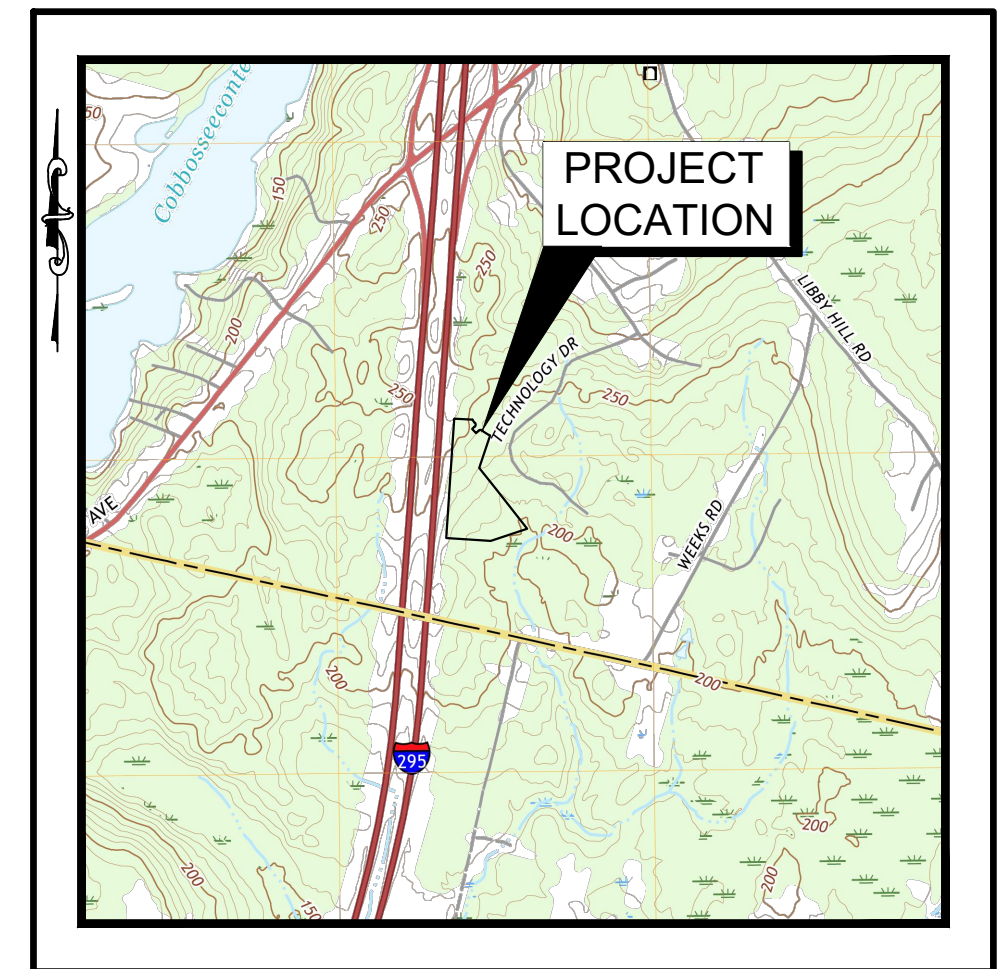
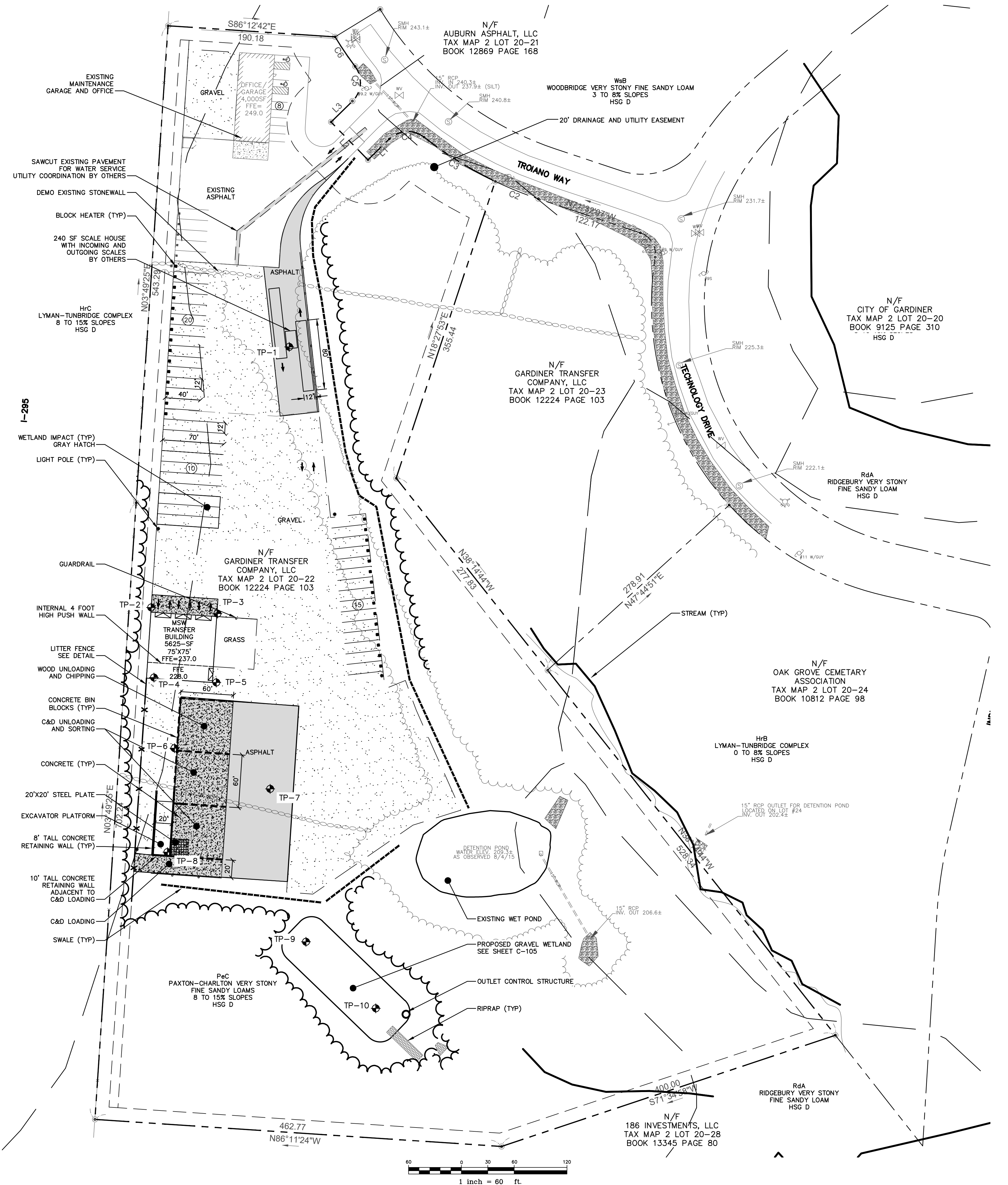


LEGEND

	PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	SETBACKS
	MONUMENTS
	EXISTING/PROPOSED CONTOURS
	EDGE OF GRAVEL
	EDGE OF PAVEMENT
	EDGE OF WETLAND
	WETLAND SYMBOL
	CURB
	PAVEMENT STRIPING
	BUILDINGS
	EXISTING/PROPOSED TREELINE
	STONEWALL
	NRCS WEB SOIL SURVEY BOUNDARY
	SIGNS
	BOLLARDS
	UTILITY POLE
	EXISTING RIPRAP

I-285

M:_Cad Drawings - Design\Active Drawg\1172 Troiano\1172-0002 TMS Gardiner\DWG\1172-0002 STP10.dwg 7/20/2022 11:03:50 AM



SITE LOCATION MAP
 SCALE: 1" = 2,000'
 SOURCE: USGS, GARDINER, MAINE, QUADRANGLE, DATED 2018

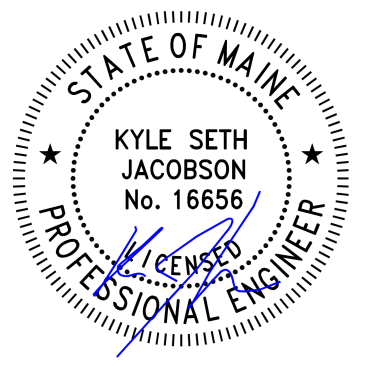
- NOTES:**
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 - WETLAND BOUNDARIES OBTAINED FROM A FIELD SURVEY PERFORMED BY MICHAEL JOHNSON OF WOODLOT ALTERNATIVES, INC ON AUGUST 6, 2004 AND FIELD VERIFIED BY TOM TREAU, PWS OF STANTEC CONSULTING SERVICES, INC ON DECEMBER 20, 2019.
 - THE PROPERTY IS LOCATED WITHIN THE CITY OF GARDINER PLANNED INDUSTRIAL/COMMERCIAL (PIC) DISTRICT ZONE.
 - WASTE PROCESSING FACILITY USE AND AUTOMOBILE REPAIR USE ARE ALLOWED USES VIA PERMIT WITH REVIEW IN THE PIC DISTRICT ZONE.
 - BULK AND DIMENSIONAL REQUIREMENTS FOR THE PIC DISTRICT ZONE ARE AS FOLLOWS:

	REQUIRED	PROPOSED
MIN. LOT SIZE WITH SEWER	40,000 SF	NA
MIN. LOT SIZE W/O SEWER	80,000 SF	588,060 SF
MIN. ROAD FRONTAGE	200 FT	248 FT
MIN. SHORE FRONTAGE	125 FT	NA
MAX BLDG HEIGHT	150 FT	50 FT
MAX. LOT COVERAGE	80%	46%
ROAD (FRONT) SETBACK*	50/75 FT	50 FT
SIDE SETBACK	15 FT	15 FT
REAR SETBACK	15 FT	15 FT
 - *SETBACKS FROM STREETS OR ROADS SHALL BE THE GREATER OF TWO DISTANCES X/Y WHERE X IS MEASURED FROM THE RIGHT-OF-WAY LINE AND Y IS MEASURED FROM THE CENTER LINE.
 - PARKING REQUIREMENTS FOR THE INDUSTRIAL AND MANUFACTURING FACILITIES ARE 1.5 SPACES PER 1,000 SF GROSS FLOOR AREA (GFA). THE PROPOSED DEVELOPMENT (9,625 SF COMBINED GFA) REQUIRES 15 PARKING SPACES, THE FOLLOWING PARKING SPACES ARE PROPOSED:

PARKING PROPOSED	13 STANDARD SPACES (9' x 18')
	2 ADA ACCESSIBLE SPACES
	15 TOTAL PROPOSED STANDARD SPACES
	35 TRUCK PARKING SPACES (12' x 40')
	10 TRACTOR TRAILER SPACES (12' x 70')
 - THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THIS PLAN IS APPROXIMATE. ALL UNDERGROUND UTILITIES SHALL BE VERIFIED AS TO THEIR LOCATION, SIZE, AND TYPE BY THE PROPER UTILITY COMPANIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO CONTACT DIG SAFE A MINIMUM 72 HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO CONSTRUCTION.
 - THE PROJECT PROPOSES 38,127 SF OF WETLAND IMPACTS.
 - THE SOLID WASTE HANDLING AREA TOTALS APPROXIMATELY 39,893 SF.

LEGEND

	PROPERTY LINE/ROW
	ADJACENT PROPERTY LINE
	SETBACKS
	MONUMENTS
	EDGE OF GRAVEL
	EDGE OF PAVEMENT
	EDGE OF WETLAND
	WETLAND SYMBOL
	CURB
	PAVEMENT STRIPING
	BUILDINGS
	EXISTING/PROPOSED TREELINE
	NRCS WEB SOIL SURVEY BOUNDARY
	STONEWALL
	SIGNS
	BOLLARDS
	UTILITY POLE
	EXISTING RIPRAP
	SOIL TEST PIT



REV.	DATE	REVISION DESCRIPTION

DESIGNED BY: KSJ
 DRAWN BY: PMG
 CHECKED BY: PJC
 DATE: 7/20/2022
 FILE NAME: 1172-0002 STP10.dwg

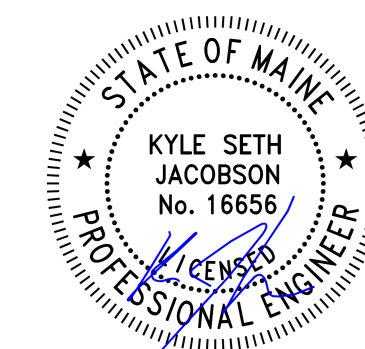
PROJECT NAME:
 LOT 22
 LIBBY HILL BUSINESS PARK
 12 TROIANO WAY
 GARDINER, MAINE

CLIENT:
 GARDINER TRANSFER
 COMPANY, LLC
 PO BOX 3541
 PORTLAND, MAINE

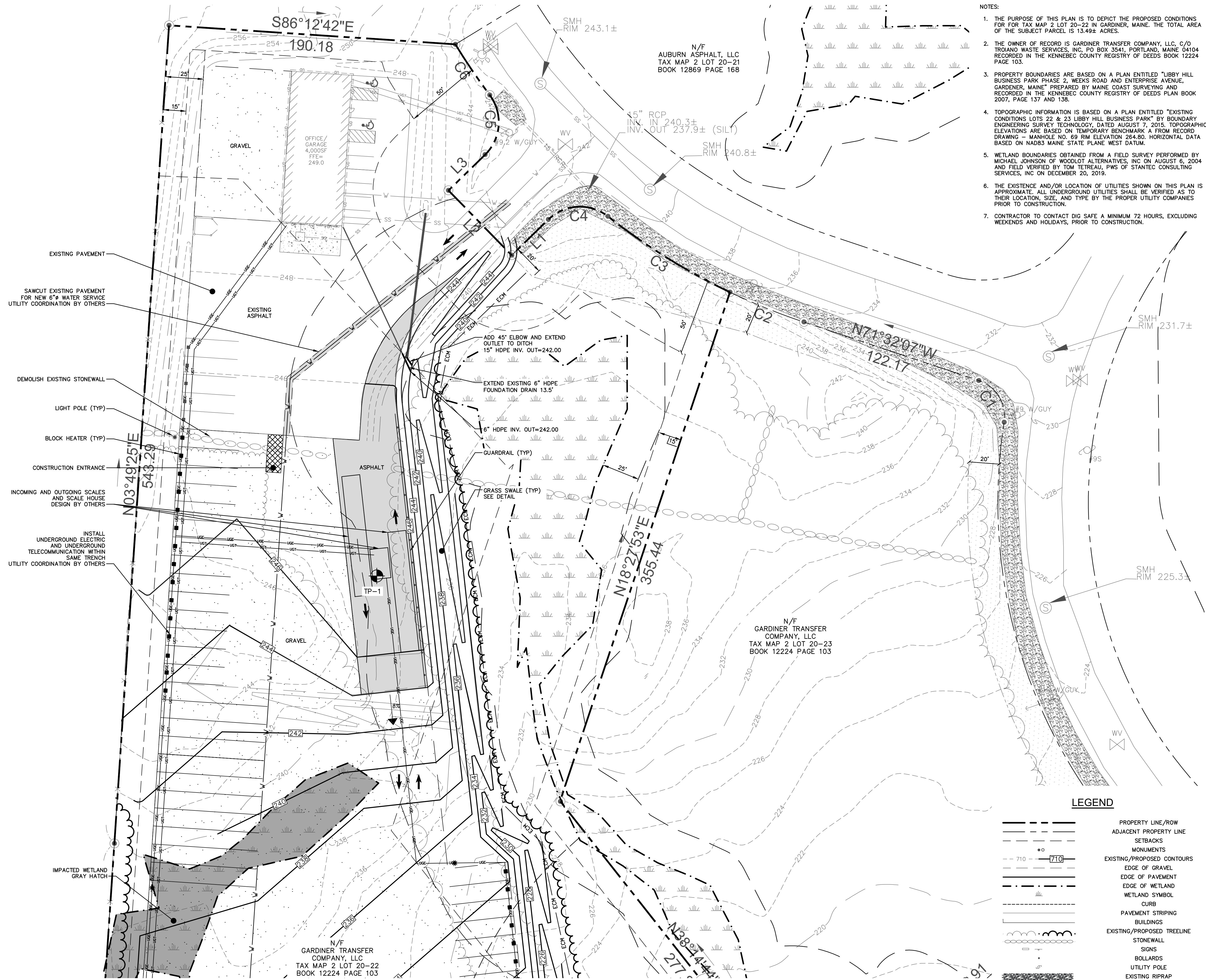
SHEET TITLE:

SITE PLAN

SHEET NO:
C-102



- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED CONDITIONS FOR FOR TAX MAP 2 LOT 20-22 IN GARDINER, MAINE. THE TOTAL AREA OF THE SUBJECT PARCEL IS 13.49± ACRES.
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 7. CONTRACTOR TO CONTACT DIG SAFE A MINIMUM 72 HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO CONSTRUCTION.



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PROJECT NAME:
 LOT 22
 LIBBY HILL BUSINESS PARK
 12 TROIANO WAY
 GARDINER, MAINE

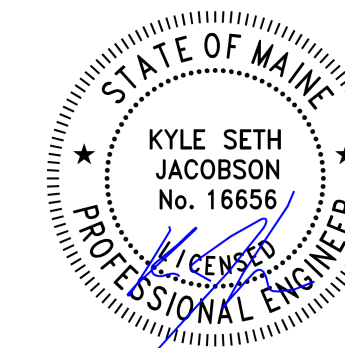
CLIENT:
 GARDINER TRANSFER
 COMPANY, LLC
 PO BOX 3541
 PORTLAND, MAINE

SHEET TITLE:

**GRADING,
 DRAINAGE,
 UTILITIES, &
 EROSION
 CONTROL PLAN**

SHEET NO:
C-103

M:\Cad Drawings - Design\Active Drawings\1172-0002 TWS Gardiner\DWG\1172-0002 STP10.dwg 7/20/2022 11:11:32 AM



- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED CONDITIONS FOR FOR TAX MAP 2 LOT 20-22 IN GARDINER, MAINE. THE TOTAL AREA OF THE SUBJECT PARCEL IS 13.49± ACRES.
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LOT 22
LIBBY HILL BUSINESS PARK
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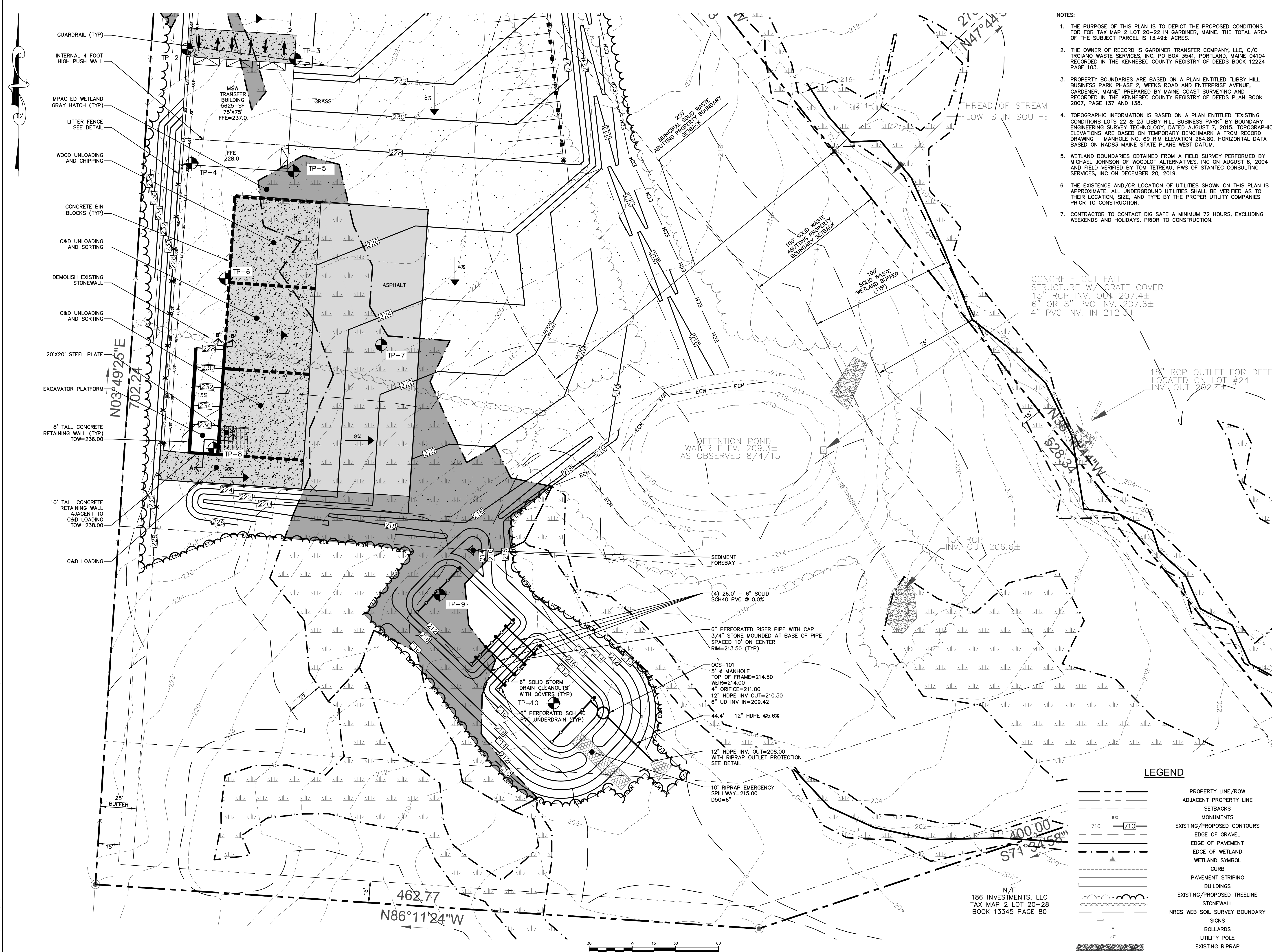
GARDINER TRANSFER COMPANY, LLC
PO BOX 3541
PORTLAND, MAINE

SHEET TITLE:

GRADING, DRAINAGE, UTILITIES, & EROSION CONTROL PLAN

SHEET NO:

C-104

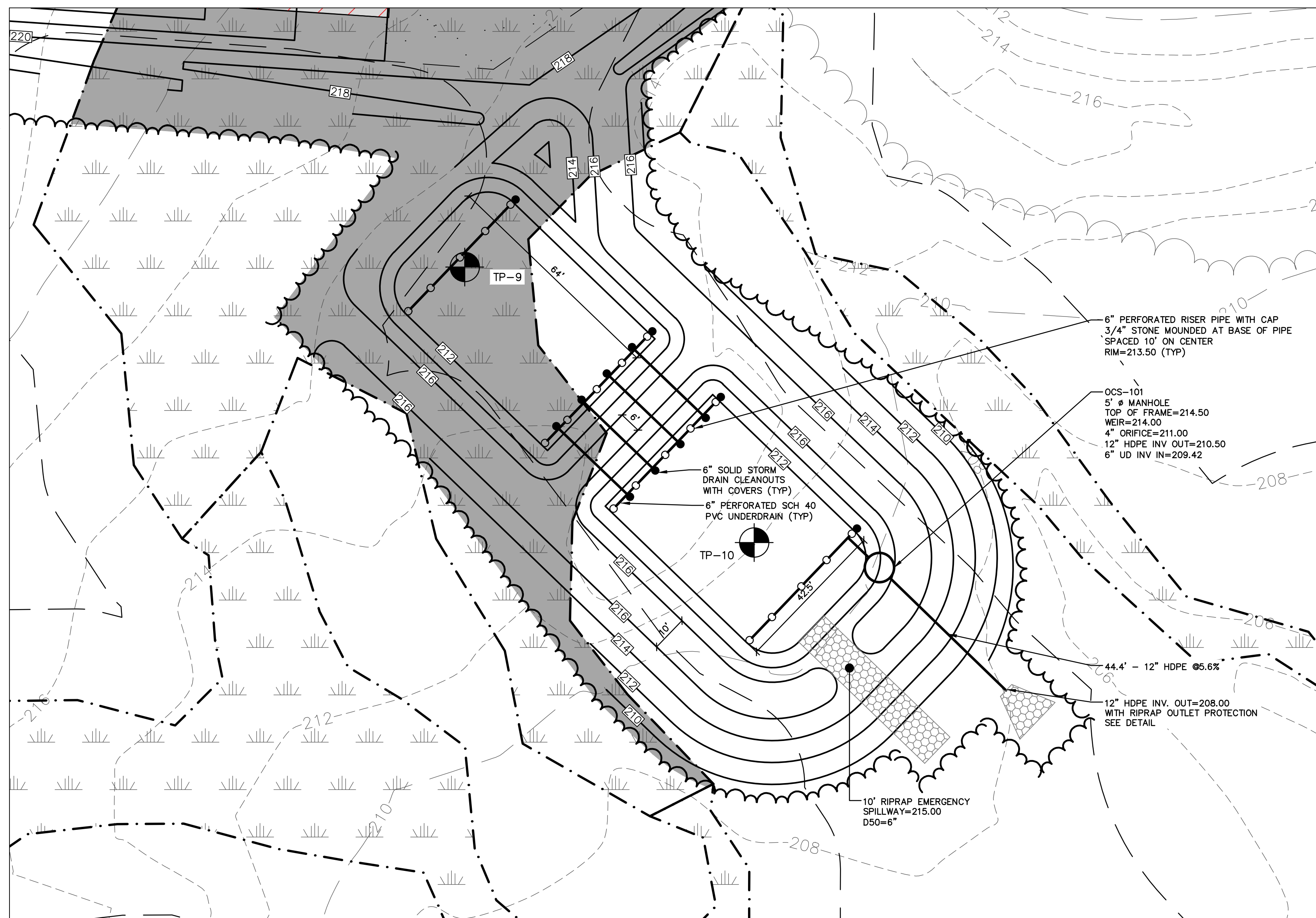
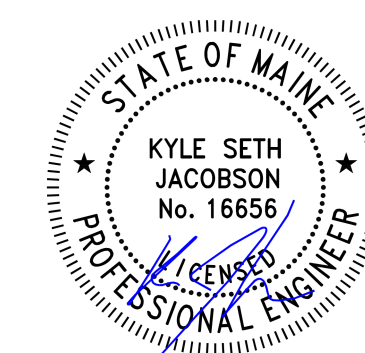


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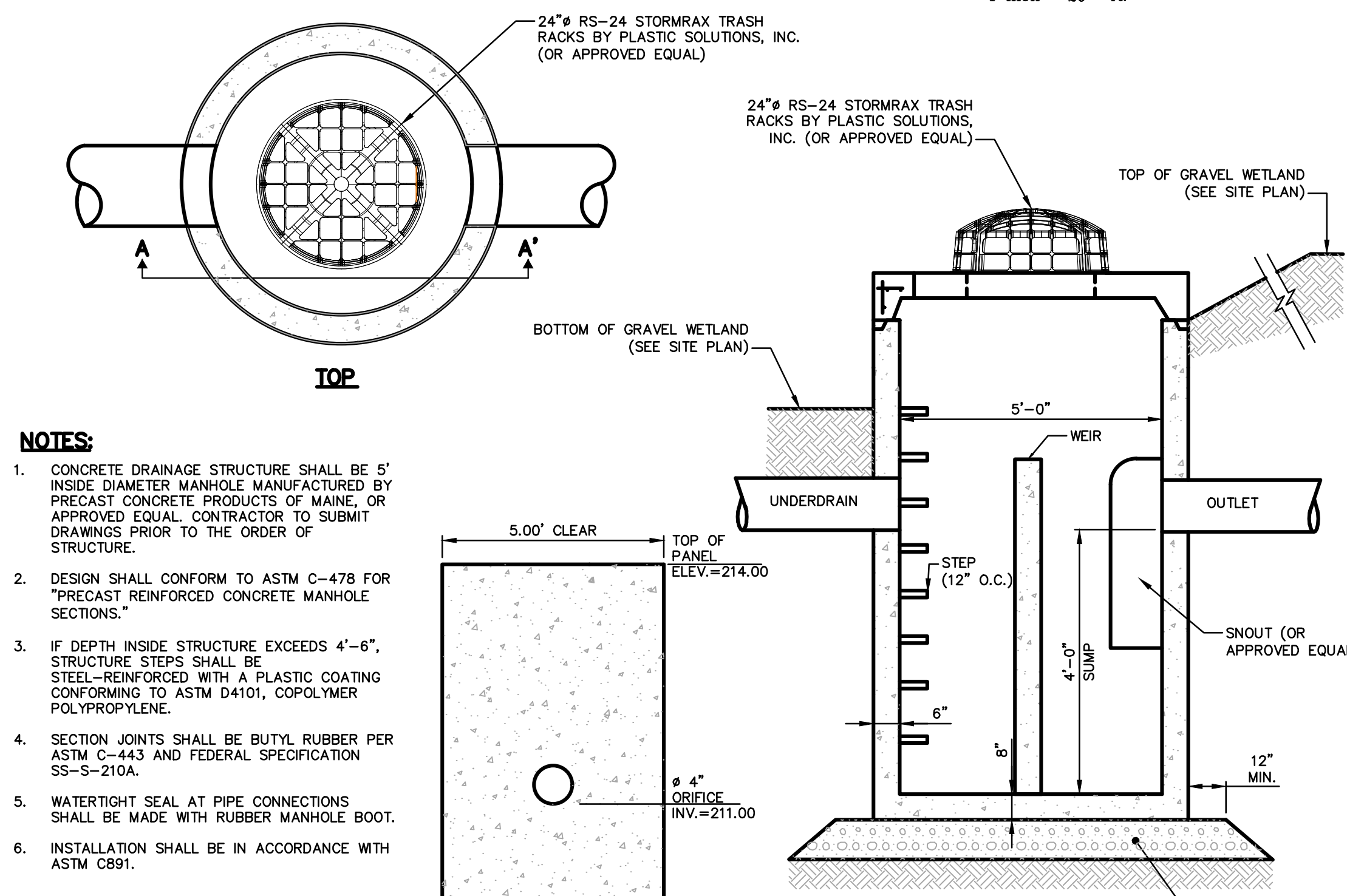
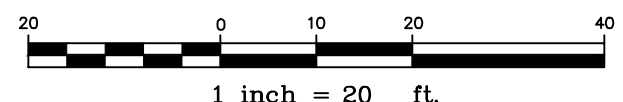
	PROPERTY LINE/ROW
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	MONUMENTS
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	EDGE OF PAVEMENT
	EDGE OF WETLAND
	WETLAND SYMBOL
	CURB
	PAVEMENT STRIPING
	BUILDINGS
	EXISTING/PROPOSED TREELINE
	STONEWALL
	NRCS WEB SOIL SURVEY BOUNDARY
	SIGNS
	BOLLARDS
	UTILITY POLE
	EXISTING RIPRAP

N/F
186 INVESTMENTS, LLC
TAX MAP 2 LOT 20-28
BOOK 13345 PAGE 80

M:_Cad Drawings - Dwg\Active Dwg\1172 Troiano\1172-0002 TWS Gardiner\DWG\1172-0002 STP10.dwg 7/20/2022 11:13:49 AM

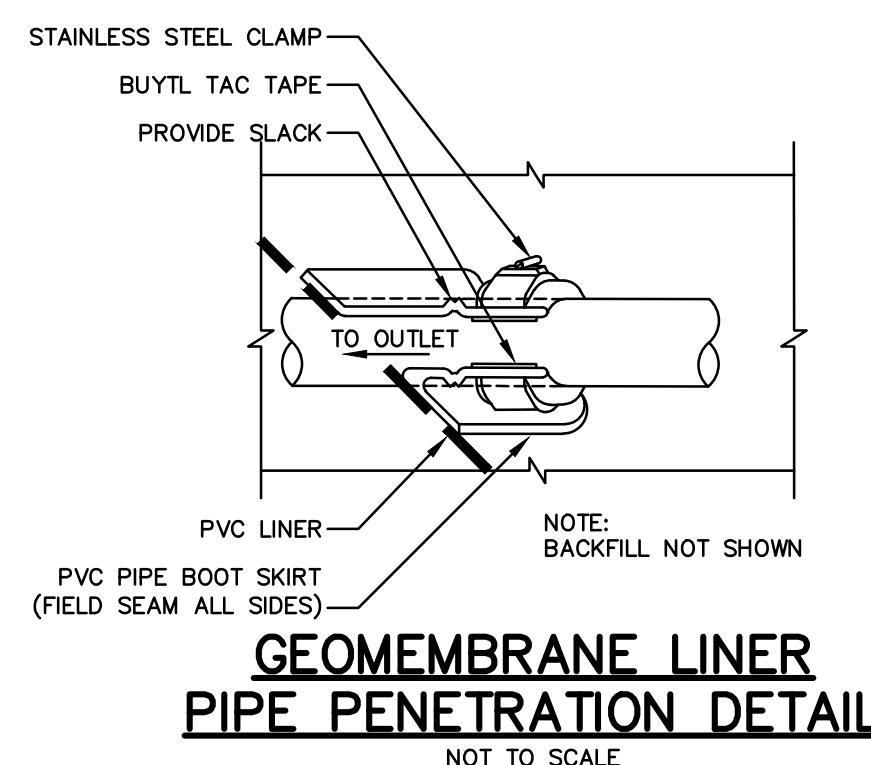


PLAN VIEW

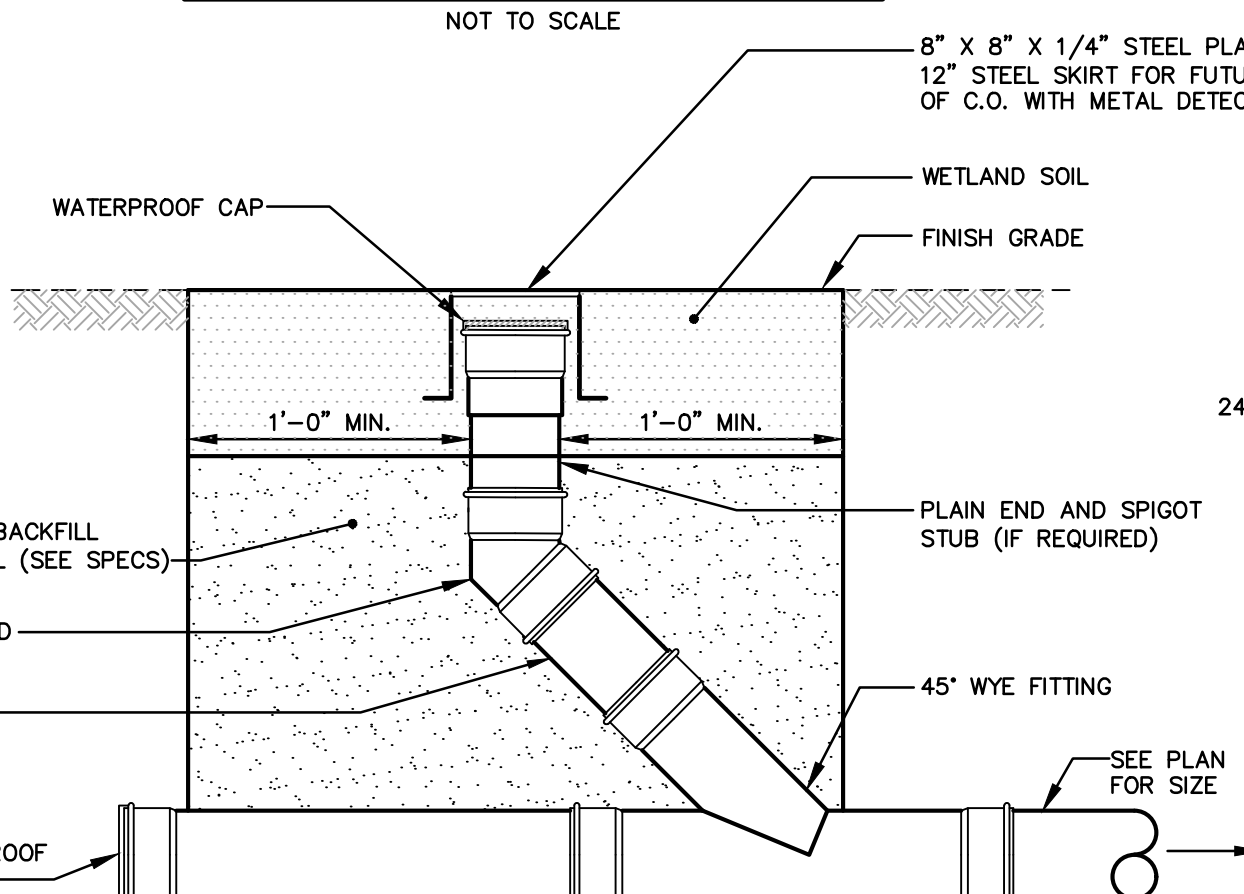


GRAVEL WETLAND OUTLET CONTROL STRUCTURE

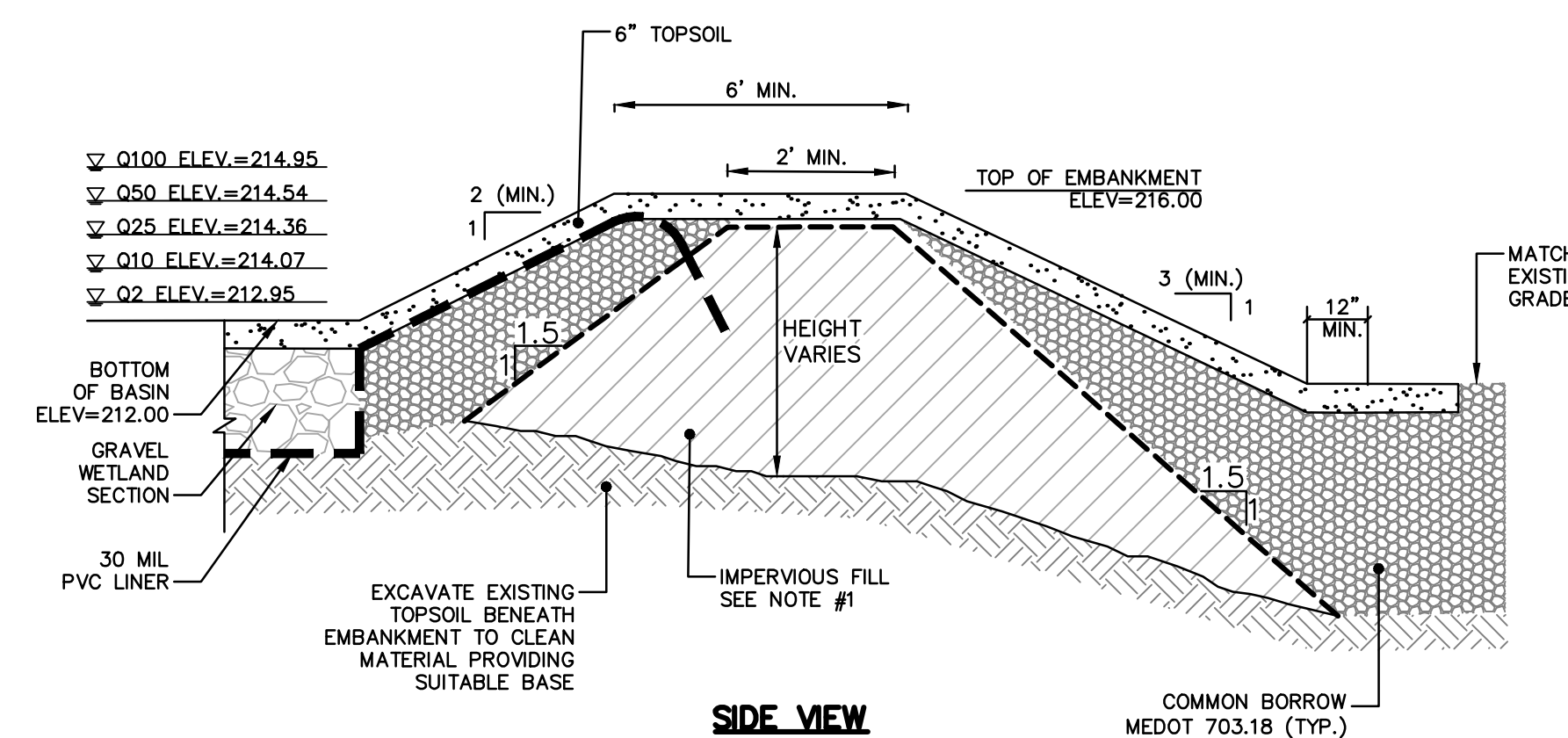
- NOTES:**
1. CONCRETE DRAINAGE STRUCTURE SHALL BE 5' INSIDE DIAMETER MANHOLE MANUFACTURED BY PRECAST CONCRETE PRODUCTS OF MAINE, OR APPROVED EQUAL. CONTRACTOR TO SUBMIT DRAWINGS PRIOR TO THE ORDER OF STRUCTURE.
 2. DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 3. IF DEPTH INSIDE STRUCTURE EXCEEDS 4'-6", STRUCTURE STEPS SHALL BE STEEL-REINFORCED WITH A PLASTIC COATING CONFORMING TO ASTM D401, COPOLYMER POLYPROPYLENE.
 4. SECTION JOINTS SHALL BE BUTYL RUBBER PER ASTM C-443 AND FEDERAL SPECIFICATION SS-S-210A.
 5. WATERTIGHT SEAL AT PIPE CONNECTIONS SHALL BE MADE WITH RUBBER MANHOLE BOOT.
 6. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM C891.



GEOMEMBRANE LINER PIPE PENETRATION DETAIL



GRAVEL WETLAND CLEANOUT



SIDE VIEW

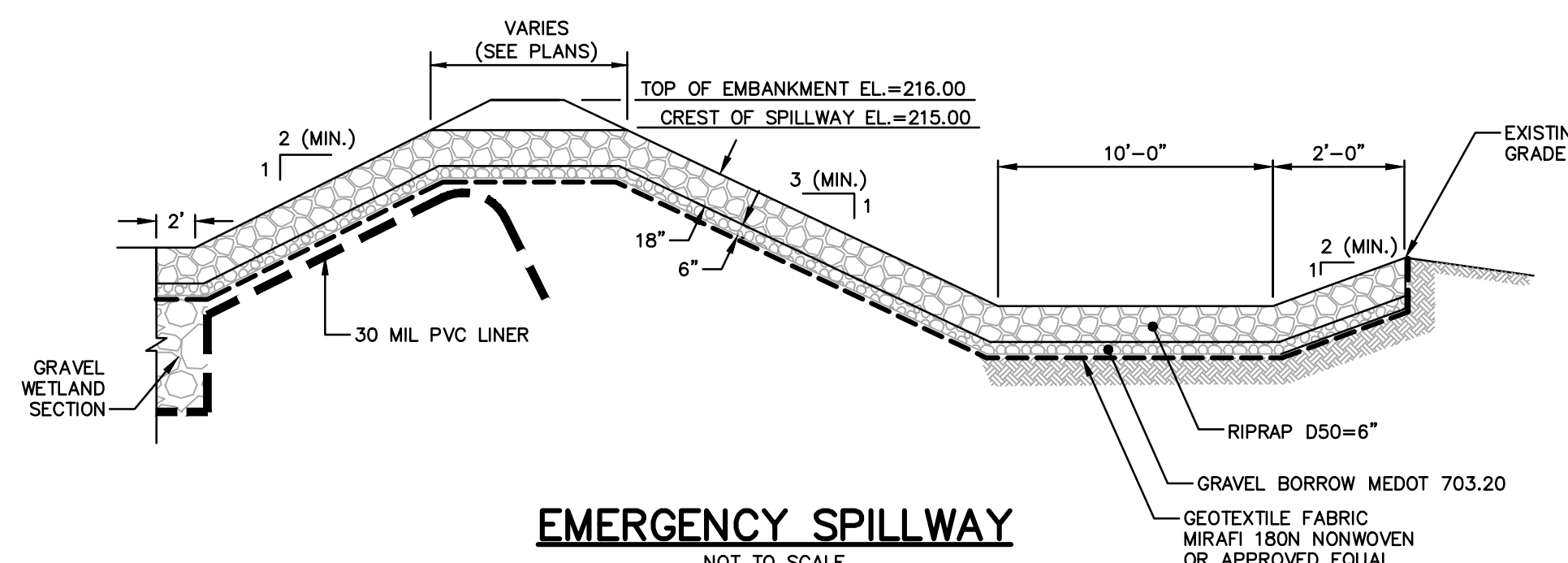
NOTES:

1. IMPERVIOUS MATERIAL FOR USE IN BASIN EMBANKMENT AREAS AND WHERE SHOWN ON THE PLANS SHALL BE COMPOSED OF CLAYS, SILTY CLAYS, OR CLAYEY SILTS. THE SOIL SHALL BE FREE OF RUBBISH, ICE, VEGETATIVE MATTER, LOAM, OR OTHER DEBRIS AND HAVE THE FOLLOWING GRADATION AS DEFINED BY A STANDARD SEIVE TEST (ASTM D422):

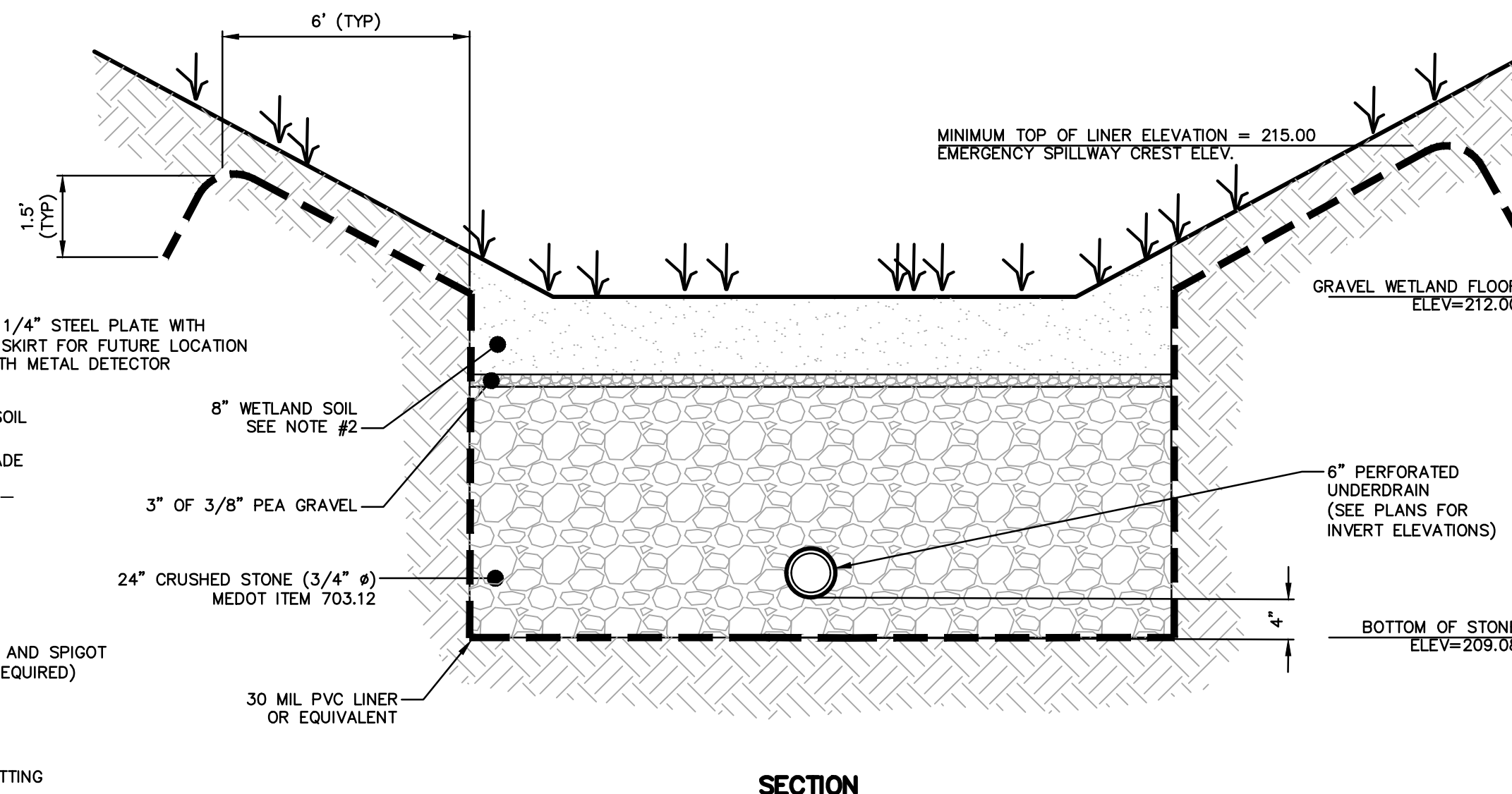
MIN. PERCENT PASSING (BY WT.)	SEIVE SIZE
100	3.5"
80-100	3/4"
40-90	No. 4
30-85	No. 40
25-75	No. 200

2. COMMON BORROW FOR USE IN FILL AREAS ASSOCIATED WITH BASIN EMBANKMENTS SHALL BE COMPOSED OF SATISFACTORY ON-SITE MATERIAL OR BORROW SOIL MATERIALS WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE FROM EXCAVATIONS. SATISFACTORY ON-SITE MATERIAL SHALL HAVE SOIL CLASSIFICATION GROUPS OF GW, GP, GM, SW, SP, AND SM ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE GROUPS AND SHALL BE FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES (75 MM) IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.
3. PIPE INSTALLED THROUGH EMBANKMENT SHALL INCLUDE WATER TIGHT JOINTS AND ANTI-SEEP COLLARS.

EMBANKMENT SECTION



EMERGENCY SPILLWAY



SECTION

NOTES:

1. SEED MIX SHALL BE NEW ENGLAND WETLAND PLANTS "NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES".
2. WETLAND SOIL CAN BE MANUFACTURED USING COMPOST, SAND, AND FINE SOILS BLENDED WITH MORE THAN 15% ORGANIC MATTER. IT SHOULD CONTAIN MORE THAN 15% SILT PASSING THE #200 SIEVE, BUT WITH A CLAY SIZE PORTION THAT IS LESS THAN 2%.

REV.	DATE	REVISION DESCRIPTION

DESIGNED BY: KSJ
DRAWN BY: PMG
CHECKED BY: PJC
DATE: 7/20/2022
FILE NAME: 1172-0002 STP10.dwg

PROJECT NAME:
**LOT 22
LIBBY HILL BUSINESS PARK
12 TROIANO WAY
GARDINER, MAINE**

CLIENT:
**GARDINER TRANSFER
COMPANY, LLC
PO BOX 3541
PORTLAND, MAINE**

SHEET TITLE:
**GRAVEL
WETLAND
PLAN**

SHEET NO:
C-105

EROSION AND SEDIMENTATION CONTROL NOTES

TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES INCLUDE THE USE OF SEDIMENT BARRIER, EROSION CONTROL MIX, STONE CHECK DAMS, HAY BALE BARRIERS, CATCH BASIN INLET BARRIERS, CATCH BASIN SEDIMENT COLLECTION BAGS, EROSION CONTROL BLANKET, AND TEMPORARY SEEDING AND MULCHING AS REQUIRED. PERMANENT DEVICES INCLUDE THE USE OF RIP RAP AT EXPOSED STORM DRAIN AND CULVERT INLETS AND OUTLETS, RIP RAPPED SLOPES, AND PERMANENT VEGETATION.

- A. GENERAL**
- IT IS ANTICIPATED THAT CONSTRUCTION WILL BEGIN IN THE SPRING OF 2023 FOLLOWING RECEIPT OF NECESSARY PERMITS.
 - THE PROJECT SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS PERFORMANCE FOR EXCAVATIONS FOR CLAY, TOPSOIL OR SILT IN ACCORDANCE WITH STATE EROSION CONTROL LAW 38 MRSA 420-C.
 - ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES (BMP) PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MAY 2003, OR AS CURRENTLY REVISED.
 - ANY CONTRACTOR EROSION AND SEDIMENTATION CONTROL DEEMED NECESSARY BY THE OWNER'S REPRESENTATIVE, DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) PERSONNEL AND/OR MUNICIPAL OFFICIALS SHALL BE INSTALLED.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING DURING CONSTRUCTION FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATER BODIES, OR WETLANDS AS A RESULT OF THIS PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/MAINTENANCE OF ALL EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE ABOVE PERSONNEL. DESCRIPTIONS OF ACCEPTABLE PERMANENT STABILIZATION FOR VARIOUS COVER TYPES FOLLOWS:
 - FOR SEEDED AREAS, PERMANENT STABILIZATION MEANS 90% COVERAGE OF THE DISTURBED AREA WITH MATURE, HEALTHY PLANTS WITH NO EVIDENCE OF WASHING OR KILLING OF THE TOPSOIL.
 - FOR SODDED AREAS, PERMANENT STABILIZATION MEANS THE COMPLETE BINDING OF THE SOD ROOTS INTO THE UNDERLYING SOIL WITH NO SLUMPING OF THE SOD OR DIE-OFF.
 - FOR MULCHED AREAS, PERMANENT MULCHING MEANS TOTAL COVERAGE OF THE EXPOSED AREA WITH MULCH. EROSION CONTROL MIX MAY BE USED AS MULCH FOR PERMANENT STABILIZATION ACCORDING TO THE BMP APPLICATION RATES AND LIMITATIONS.
 - FOR AREAS STABILIZED WITH RIP RAP, PERMANENT STABILIZATION MEANS THAT SLOPES STABILIZED WITH RIP RAP HAVE AN APPROPRIATE BACKING OF A WELL-GRADED GRAVEL OR GEOTEXTILE TO PREVENT SOIL MOVEMENT FROM BEHIND THE RIP RAP. STONE MUST BE SIZED APPROPRIATELY.
 - FOR PAVED AREAS, PERMANENT STABILIZATION MEANS THE PLACEMENT OF THE COMPACTED GRAVEL SUBBASE IS COMPLETED.
 - FOR OPEN CHANNELS, PERMANENT STABILIZATION MEANS THE CHANNEL IS STABILIZED WITH MATURE VEGETATION AT LEAST THREE INCHES IN HEIGHT, WITH WELL-GRADED RIP RAP, OR WITH ANOTHER NON-EROSIVE LINING CAPABLE OF WITHSTANDING THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHOUT RELIANCE ON CHECK DAMS TO SLOW FLOW. THERE MUST BE NO EVIDENCE OF SLUMPING OF THE LINING, UNDERCUTTING OF THE BANKS, OR DOWN CUTTING OF THE CHANNEL.

B. EROSION AND SEDIMENTATION CONTROL MEASURES

- REMOVAL OF SOD, TREES, BUSHES AND OTHER VEGETATION AND SOIL DISTURBANCE WILL BE KEPT TO A MINIMUM WHILE ALLOWING PROPER SITE DEVELOPMENT.
- GRUBBINGS AND ANY UNUSABLE TOPSOIL SHALL BE STRIPPED AND REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN APPROVED MANNER.
- ANY SUITABLE TOPSOIL WILL BE STRIPPED AND STOCKPILED FOR REUSE IN FINAL GRADING. TOPSOIL WILL BE STOCKPILED IN A MANNER SUCH THAT NATURAL DRAINAGE IS NOT OBSTRUCTED AND NO OFF-SITE SEDIMENT WASH RESULT. IF A STOCKPILE IS NECESSARY, THE SIDE SLOPES OF THE TOPSOIL STOCKPILE WILL NOT EXCEED 2:1. TOPSOIL STOCKPILES WILL BE TEMPORARILY SEEDED WITH AROOSTOOK RYE, ANNUAL OR PERENNIAL RYE GRASS (OPENING ON DATE SEEDING) WITHIN 7 DAYS OF FORMATION, OR TEMPORARILY MULCHED IF SEEDING CANNOT BE DONE WITHIN THE RECOMMENDED SEEDING DATES.
- TEMPORARY DIVERSION BERMS AND DRAINAGE SWALES SHALL BE CONSTRUCTED AS NECESSARY.
- TEMPORARY STABILIZATION SHALL BE CONDUCTED WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOILS, PRIOR TO ANY RAIN EVENT, AND PRIOR TO ANY WORK SHUT DOWN LASTING MORE THAN ONE DAY. TEMPORARY STABILIZATION INCLUDES SEED, MULCH, OR OTHER NON-ERODIBLE COVER. AREAS WITHIN 75 FEET OF WETLANDS SHALL BE TEMPORARILY STABILIZED WITHIN 48 HOURS OR PRIOR TO RAIN EVENT.
- APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRE, AND ANCHOR AS NECESSARY.
- TEMPORARY SEEDING SPECIFICATIONS, WHERE THE SEED BED HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, SHALL BE APPLIED TO A DEPTH OF 4 INCHES BEFORE APPLYING SEED. UNIFORMLY APPLY SEED AT THE RECOMMENDED SEEDING RATES AND DATES, APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRE, AND ANCHOR AS NECESSARY.

RECOMMENDED TEMPORARY SEEDING DATES AND APPLICATION RATES ARE AS FOLLOWS:

- AROOOSTOOK RYE: RECOMMENDED SEEDING DATES: 8/15 - 10/1
APPLICATION RATE: 112 LBS./ACRE
- ANNUAL RYE GRASS: RECOMMENDED SEEDING DATES: 4/1 - 7/1
APPLICATION RATE: 40 LBS./ACRE
- PERENNIAL RYE GRASS: RECOMMENDED SEEDING DATES: 8/15 - 9/15
APPLICATION RATE: 40 LBS./ACRE
- IF THE AREA WILL REMAIN UNWORKED FOR MORE THAN ONE YEAR OR HAS BEEN BROUGHT TO STABILIZATION USING VEGETATION THROUGH PLANTING, SEEDING, SOD, OR THROUGH THE USE OF PERMANENT MULCH OR RIP RAP. IF USING VEGETATION FOR STABILIZATION, SELECT THE PROPER VEGETATION FOR THE LIGHT, MOISTURE, AND SOIL CONDITIONS. AMEND AREAS OF DISTURBED SUBSOIL WITH TOP SOIL OR OTHER ORGANIC AMENDMENTS. PROTECT SEED AREAS WITH MULCH OR, IF NECESSARY, EROSION CONTROL BLANKETS, AND SCHEDULE SODDING, PLANTING, AND SEEDING SO TO AVOID DIE-OFF FROM SUMMER DROUGHT AND FALL FROSTS. NEWLY SEED OR SODDED AREAS MUST BE PROTECTED FROM VEHICLE TRAFFIC, EXCESSIVE PEDESTRIAN TRAFFIC, AND CONCENTRATED RUNOFF UNTIL THE ESTABLISHMENT IS WELL ESTABLISHED. THE DITCHES, DUSTY SPOTS, OR REESTABLISHED IF GERMINATION IS SPARSE, PLANT COVERAGE IS SPOTTY, OR TOPSOIL EROSION IS EVIDENT.

- PERMANENT SEEDING SPECIFICATION: IF A LANDSCAPE PLAN HAS BEEN PREPARED FOR THE PROJECT, SOIL PREPARATION AND SEEDING SPECIFICATIONS OF THAT PLAN SHALL SUPERSEDE THESE GENERAL PERMANENT SPECIFICATIONS. IT IS RECOMMENDED THAT PERMANENT SEEDING BE COMPLETED BETWEEN APRIL 1 AND AUGUST 15 OF EACH YEAR. LATE SEASON SEEDING MAY BE DONE BETWEEN AUGUST 15 AND SEPTEMBER 15. AREAS NOT SEED OR WHICH DO NOT OBTAIN A SATISFACTORY GROWTH BY OCTOBER 1 SHALL BE SEED WITH AROOSTOOK RYE OR MULCHED AT RATES PREVIOUSLY SPECIFIED. SEE WINTER CONDITIONS NOTES FOR SEEDING STABILIZATION AFTER NOVEMBER 1.

- APPLY TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES. MIX TOPSOIL WITH THE SUBSOIL TO A MINIMUM DEPTH OF 6 INCHES.
- UNIFORMLY APPLY SEED MIXTURE AT THE RECOMMENDED SEEDING RATES AND DATES, APPLY HAY OR STRAW MULCH AT A RATE OF 2 TONS PER ACRE, AND ANCHOR AS NECESSARY.
- THE SEED MIXTURE FOR LAWN AREAS SHALL CONSIST OF SEEDS PROPORTIONED BY WEIGHT AS FOLLOWS:
 - 10 % CREEPING RED FESCUE
 - 30 % KENTUCKY BLUEGRASS
 - 60 % PERENNIAL RYE GRASS
- THE SEED MIXTURE FOR WET AREAS SHALL CONSIST OF SEEDS PROPORTIONED BY WEIGHT AS FOLLOWS:
 - 50 % REED CANARY GRASS
 - 25 % RED TOP
 - 15 % CREEPING RED FESCUE
 - 10 % PERENNIAL RYE GRASS

- MULCH ALL AREAS SEEDING SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH.
- DITCH LININGS, STONE CHECK DAMS, AND RIP RAP INLET AND OUTLET PROTECTION SHALL BE INSTALLED WITHIN 48 HOURS OF COMPLETING THE GRADING OF THAT SECTION OF DITCH OR INSTALLATION OF CULVERT.
- RIP RAP REQUIRED AT CULVERTS AND STORM DRAIN INLETS AND OUTLETS SHALL CONSIST OF FIELD STONE OR ROUGH UNHEWN QUARRY STONE OF APPROXIMATELY RECTANGULAR SHAPE. STONES SHALL WEIGH FROM 10 LBS. TO 200 LBS. AND 50% OF THE STONES BY VOLUME SHALL EXCEED A UNIT WEIGHT OF APPROXIMATELY 50 LBS.
- EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL PERMANENT SLOPES STEEPER THAN 3:1. IN THE BASE OF DITCHES NOT OTHERWISE PROTECTED, AND ANY DISTURBED AREAS WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE (E.G. WETLANDS AND WATER BODIES). EROSION CONTROL BLANKET SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- TEMPORARY CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED.

C. HOUSEKEEPING

- SPILL PREVENTION. CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM BEING DISCHARGED FROM MATERIALS ON SITE, INCLUDING STORAGE PRACTICES TO MINIMIZE EXPOSURE OF MATERIALS TO STORM WATER AND APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING AND IMPLEMENTATION.
- GROUNDWATER PROTECTION. DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR AS A RESULT OF SOILS, TOPOGRAPHY AND OTHER RELEVANT FACTORS, ACCUMULATES RUNOFF THAT INFILTRATES INTO THE SOIL, DIKES, BERMS, SLUMPS, AND OTHER FORMS OF SECONDARY CONTAMINATION THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS.
- FUGITIVE SEDIMENT AND DUST. ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL.
- DEBRIS AND OTHER MATERIAL, LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORM WATER, MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- TRENCH OR FOUNDATION DE-WATERING. TRENCH DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONES AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. THE COLLECTED WATER REMOVED FROM THE PONDED AREA, MUST BE FILTERED THROUGH A DIRT BAG, HAYBALE CORRAL OR OTHER SILTATION BASIN PRIOR TO DISCHARGE.

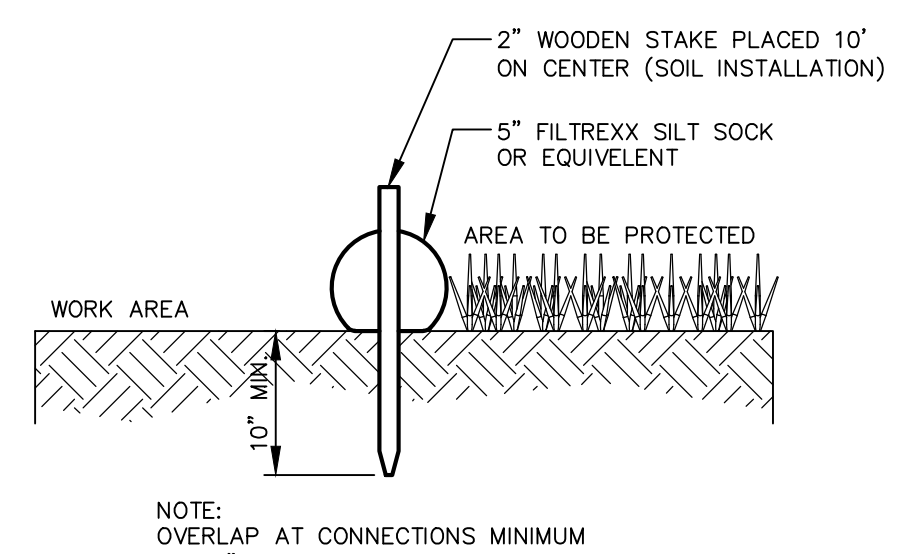
D. INSPECT AND MAINTENANCE

- INSPECT DISTURBED AND IMPERVIOUS AREAS, EROSION AND STORMWATER CONTROL MEASURES, AREAS USED FOR STORAGE THAT ARE EXPOSED TO PRECIPITATION, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE A WEEK AS WELL AS BEFORE AND AFTER STORM EVENTS, PRIOR TO COMPLETION OF PERMANENT STABILIZATION. A PERSON WITH KNOWLEDGE OF EROSION AND STORM WATER CONTROLS, INCLUDING THE STANDARDS IN THE MAINE CONSTRUCTION GENERAL PERMIT AND ANY DEP OR MUNICIPAL COMPANION DOCUMENTS, MUST CONDUCT THE INSPECTION. THIS PERSON MUST BE IDENTIFIED IN THE INSPECTION LOG. IF BEST MANAGEMENT PRACTICES BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY, IMPLEMENTATION WITHIN 7 CALENDAR DAYS AND PRIOR TO ANY STORM EVENT (RAINFALL). ALL MEASURES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION UNTIL AREAS ARE PERMANENTLY STABILIZED.
- AN INSPECTION AND MAINTENANCE LOG MUST BE KEPT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME AND QUALIFICATIONS OF THE PERSON PERFORMING THE INSPECTION, DATE, AND MAJOR OBSERVATIONS RELATING TO OPERATION OF EROSION AND SEDIMENTATION CONTROLS AND POLLUTION PREVENTION MEASURES. MAJOR OBSERVATIONS MUST INCLUDE: BMPs THAT NEED TO BE MAINTAINED, LOCATION(S) OF BMPs THAT FAILED TO OPERATE AS DESIGNED OR PROVED INADEQUATE FOR A PARTICULAR LOCATION, AND LOCATION(S) WHERE ADDITIONAL BMPs ARE NEEDED THAT DID NOT EXIST AT THE TIME OF THE INSPECTION. FOLLOW-UP TO CORRECT DEFICIENCIES OR ENHANCE CONTROLS MUST ALSO BE INDICATED IN THE LOG AND DATED, INCLUDING WHAT ACTION WAS TAKEN AND WHEN.

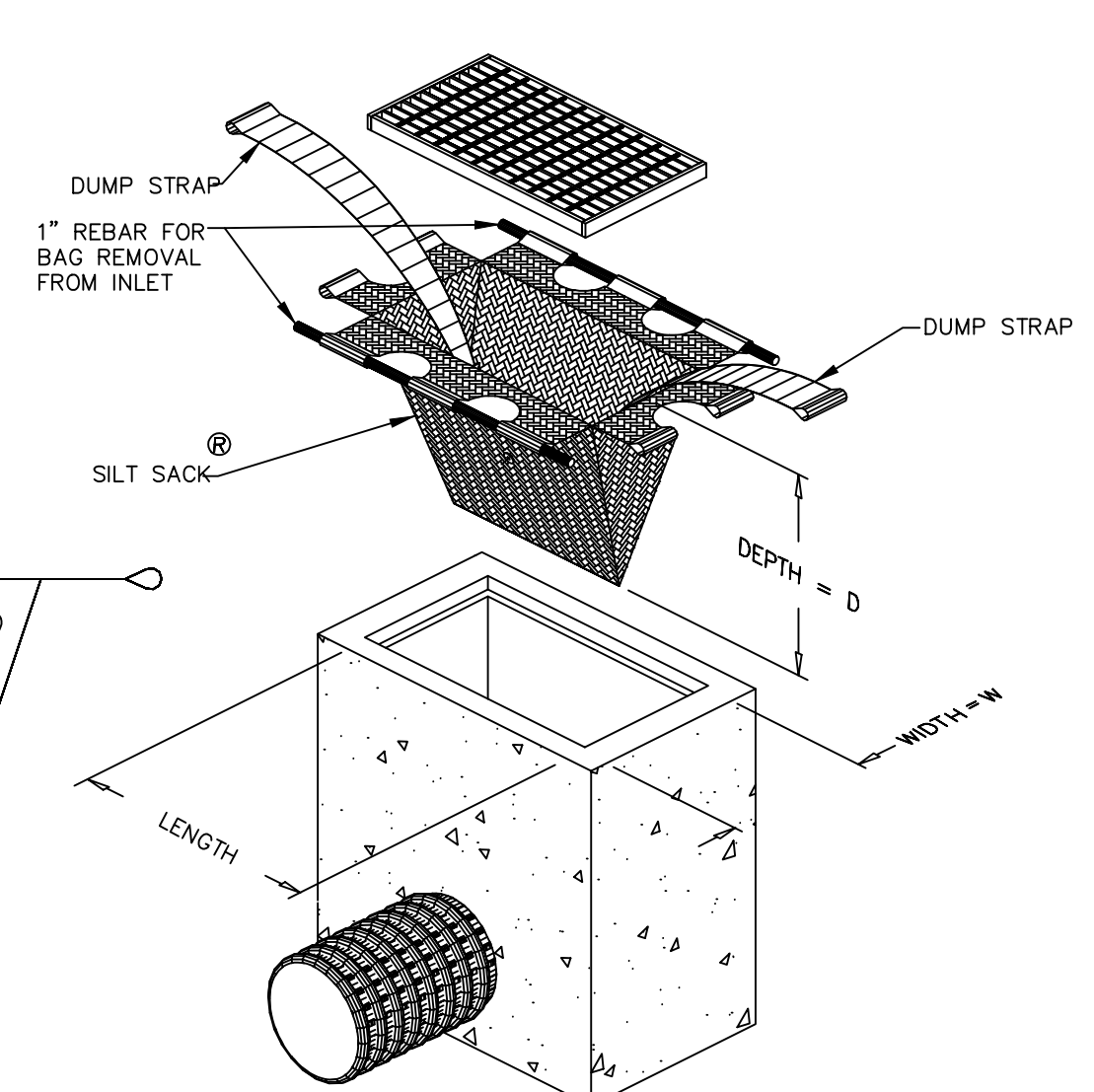
E. WINTER CONSTRUCTION EROSION AND SEDIMENTATION CONTROL NOTES

THE WINTER CONSTRUCTION PERIOD TYPICALLY BEGINS IN EARLY NOVEMBER AND ENDS IN MID APRIL. IF A CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 75% MATURE VEGETATION COVER, OR RIPRAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER-WINTER STABILIZATION. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS TO OCCUR DURING THE FOLLOWING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AN AREA SHALL BE CONSIDERED DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED IN THE ROADWAY AREAS OR THE AREA OF THE LOAM AND SEED HAVE BEEN LOAMED, SEEDING, AND MULCHED. A COVER OF EROSION CONTROL MIX IS THE PREFERRED TEMPORARY MULCH DURING WINTER CONDITIONS.

- NATURAL RESOURCE PROTECTION: ANY AREAS WITHIN 75 FEET FROM ANY REGULATED NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH EROSION CONTROL COVER DURING WINTER CONSTRUCTION. A DOUBLE ROW OF SEDIMENT BARRIERS (FOR EXAMPLE, SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY REGULATED NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE REGULATED NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.
- SEDIMENT BARRIERS: DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES OR SILT FENCES.
- MULCHING: ALL AREAS SHALL BE CONSIDERED TO BE DENUDED UNTIL SEEDING AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 3 TONS PER ACRE (TWICE THE NORMAL ACCEPTED RATE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCHES THICKNESS. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. SNOW MUST BE REMOVED DOWN TO A FOUR-INCH DEPTH BEFORE APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. BETWEEN THE DATES OF NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACKING OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH. AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORKDAY.
- SOIL STOCKPILING: STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STACKING AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED WITHIN 100 FEET FROM ANY REGULATED NATURAL RESOURCE.
- SEEDING: BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF DORMANT SEEDING IS USED, ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF LOAM AND SEED AT AN APPLICATION RATE OF 5 LBS PER 1,000 S.F. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 75%) IN THE SPRING SHALL BE REVEGETATED.
- OVER-WINTER STABILIZATION OF DITCHES AND CHANNELS: ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED BY NOVEMBER 1. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. IF A GRASS-LINED DITCH OR CHANNEL IS STABILIZED BY SEPTEMBER 1, THEN EITHER A SOD LINING SHALL BE INSTALLED PRIOR TO OCTOBER 1 OR THE DITCH MUST BE LINED WITH STONE RIPRAP BACKED BY AN APPROPRIATE GRAVEL BED OR GEOTEXTILE PRIOR TO NOVEMBER 1.
- OVER-WINTER STABILIZATION OF DISTURBED SLOPES: ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY SEPTEMBER 1. ALL AREAS HAVING A GRADE STEEPER THAN 8% SHALL BE CONSIDERED A SLOPE. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY SEPTEMBER 1, THEN THE SLOPE SHALL EITHER BE STABILIZED WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS BY OCTOBER 1, SOD BY OCTOBER 1, OR MULCH BY NOVEMBER 15. SEE APPLICABLE SECTIONS UNDER EROSION AND SEDIMENTATION CONTROL NOTES FOR PROPER INSTALLATION METHODS.
- OVER-WINTER STABILIZATION OF DISTURBED SOILS: BY SEPTEMBER 15, ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15% MUST BE SEEDING AND MULCHED. IF THE DISTURBED AREAS ARE NOT STABILIZED BY THIS DATE, THEN THE AREA SHALL EITHER BE STABILIZED WITH TEMPORARY VEGETATION BY OCTOBER 1, SOD BY OCTOBER 1, OR MULCH BY NOVEMBER 15. SEE APPLICABLE SECTIONS UNDER EROSION AND SEDIMENTATION CONTROL NOTES FOR PROPER INSTALLATION METHODS.
- MAINTENANCE: MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL, IN THE SPRING, INSPECT AND REPAIR ANY DAMAGES AND WEAR SPOTS. ANY DAMAGED VEGETATION COVER MEANS A MINIMUM OF 85% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

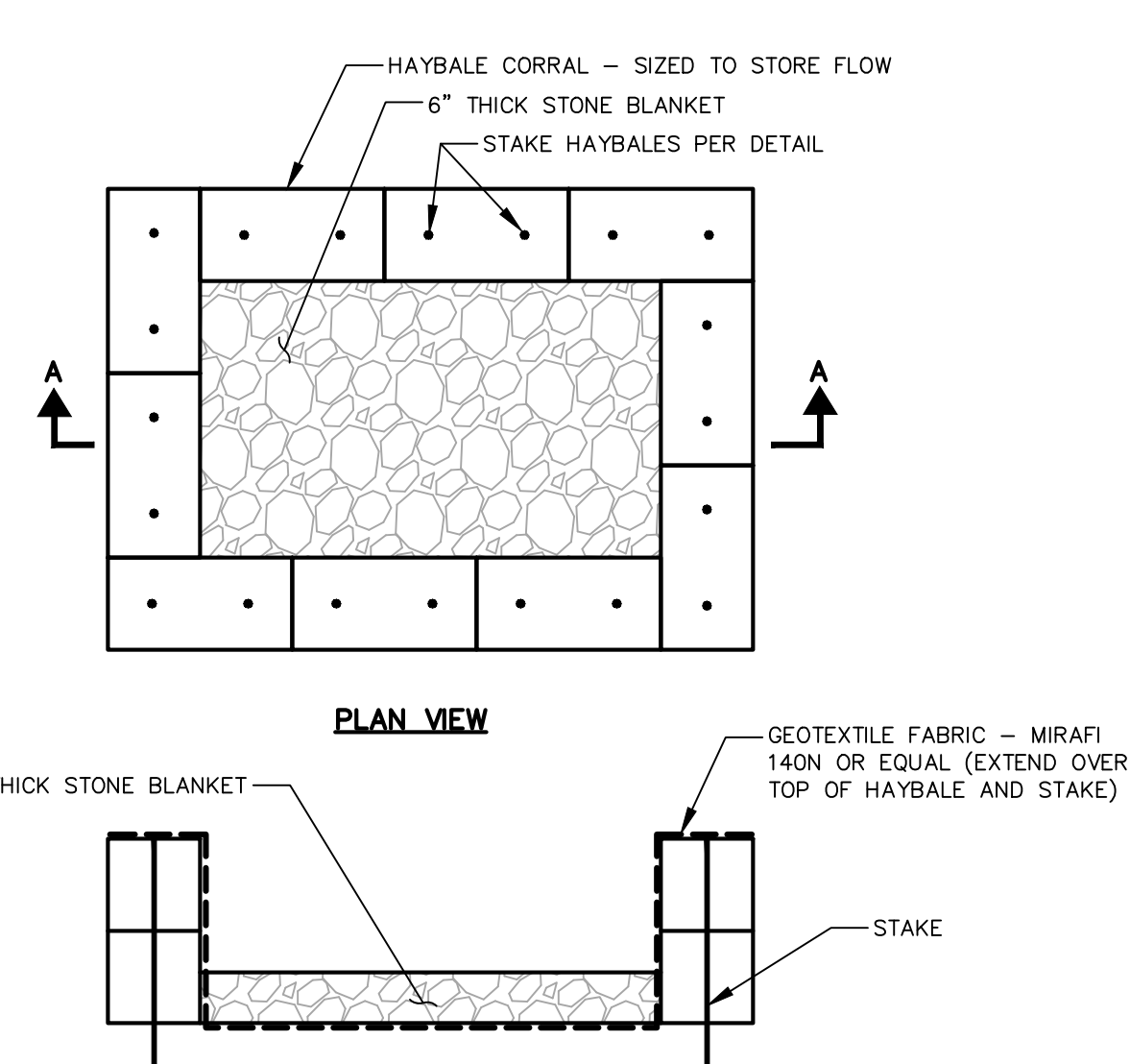


SEDIMENT BARRIER (SILT SOCK)
NOT TO SCALE

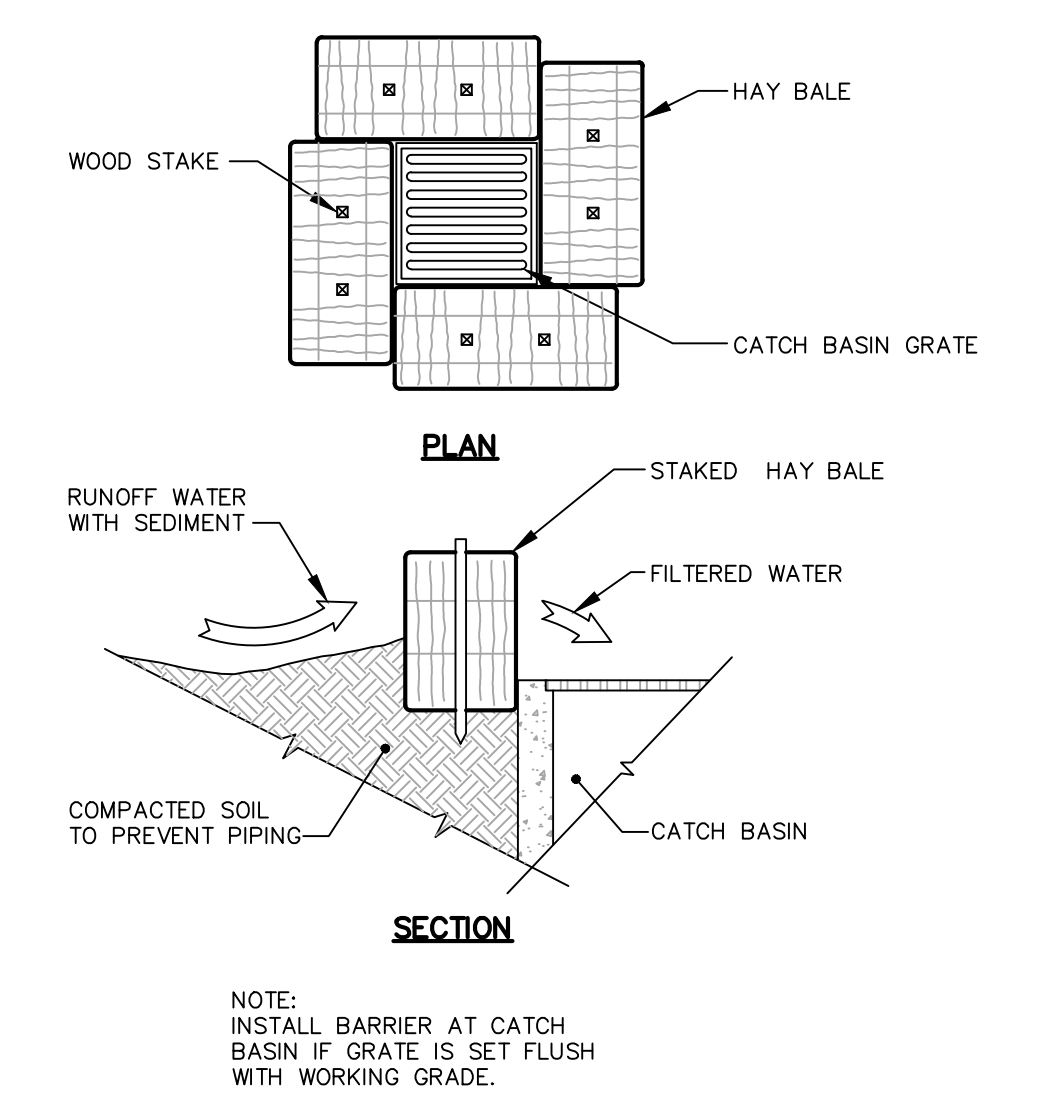


- MAINTENANCE SCHEDULE:**
- EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT.
 - IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACKS SHALL BE INSPECTED EVERY 2-3 WEEKS.
 - THE YELLOW RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.

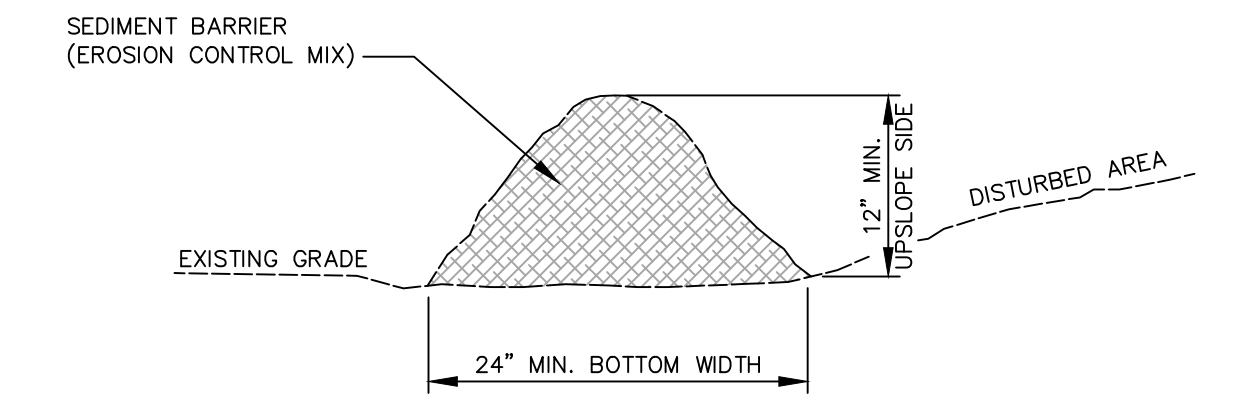
SILTSACK DETAIL
NOT TO SCALE



TEMPORARY HAYBALE CORRAL SEDIMENT BASIN
NOT TO SCALE



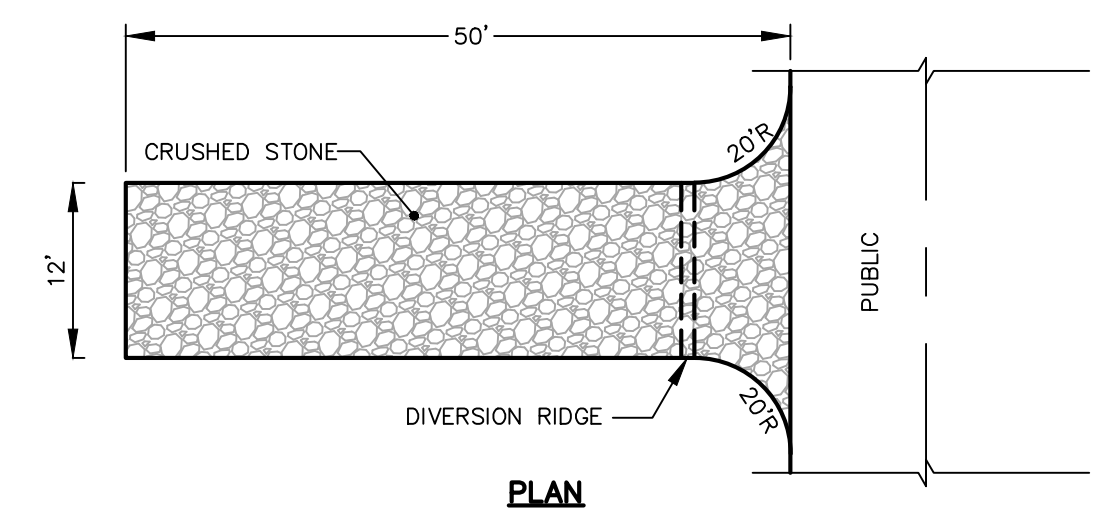
CATCH BASIN HAY BALE BARRIER
NOT TO SCALE



IN ORDER FOR EROSION CONTROL MIX TO BE USED IN LIEU OF SILT FENCE IT MUST MEET THE FOLLOWING STANDARDS:

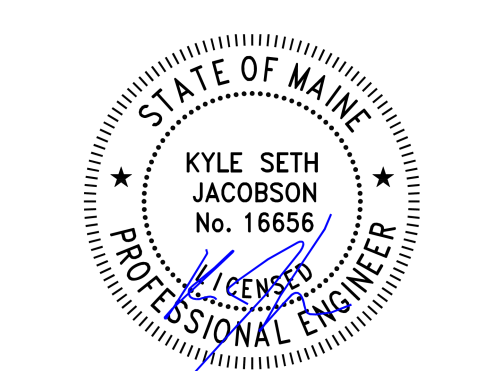
- THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 50 AND 100%, DRY WEIGHT BASIS.
- PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN AND A MINIMUM OF 70% MAXIMUM OF 85%, PASSING A 0.75" SCREEN.
- THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
- LARGE PORTIONS OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX.
- SOLUBLE SALTS CONTENT SHALL BE <4.0 mmhos/cm.
- THE pH SHOULD FALL BETWEEN 5.0 AND 8.0.
- THE EROSION CONTROL MIX SHALL CONTAIN A WELL GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" DIAMETER. EROSION CONTROL MIX MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH.
- PLACE BARRIER ALONG A RELATIVELY FLAT CONTOUR. CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES WHERE FINES CAN WASH UNDER THE BARRIER THROUGH GRASS BLADES AND BRANCHES.
- PLACEMENT OF BARRIER SHOULD BE:
 - AT TOE OF THE SLOPE.
 - ON FROZEN GROUND, BEDROCK OR ROOTED FORESTED AREAS.
 - AT THE EDGE OF GRAVEL AND AREAS UNDER CONSTRUCTION.
- BARRIER SHALL NOT BE USED ADJACENT TO WETLANDS
- REMOVE SEDIMENT DEPOSITS WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- WHEN BARRIER IS DECOMPOSED, CLOGGED WITH SEDIMENT, ERODED OR INEFFECTIVE, IT MUST BE REPLACED OR REPAIRED. THE BARRIER SHOULD BE RESHAPED AS NECESSARY.

SEDIMENT BARRIER (EROSION CONTROL MIX)
NOT TO SCALE



- NOTES:**
- USE CRUSHED STONE OR ACCEPTABLE ON-SITE MATERIAL. (STONE AGGREGATE SIZE - 2" TO 3").
 - GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. ACCEPTABLE MATERIALS ARE TREVIRA SPUNBOND 1135 MIRAFI 600X, OR EQUIVALENT.
 - LENGTH - AS SHOWN.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY, INGRESS OR EGRESS.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC REPAIR AND TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN COMPLETE, CONTRACTOR TO REMOVE STONE AND GRADE SUBBASE TO MATCH EXISTING OR PROPOSED GRADIES. COVER WITH MINIMUM 6-INCH LAYER OF GRANULAR APPLY WETLAND SEED MIX WHEN IN FLOODPLAIN (ELEVATION 40 AND BELOW) AND CONSERVATION MIX ABOVE. COVER WITH BIODEGRADABLE DOUBLE NET STRAW MAT.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



REV.	DATE	REVISION DESCRIPTION

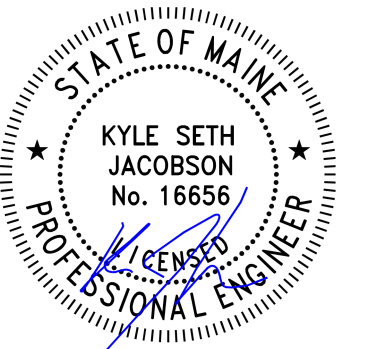
DESIGNED BY: K.SJ
DRAWN BY: PMG
CHECKED BY: PJC
DATE: 7/20/2022
FILE NAME: 1172-0002 DET01.dwg

PROJECT NAME:
**LOT 22
LIBBY HILL BUSINESS PARK
12 TROIANO WAY
GARDINER, MAINE**

CLIENT:
**GARDINER TRANSFER
COMPANY, LLC
PO BOX 3541
PORTLAND, MAINE**

SHEET TITLE:

EROSION & SEDIMENTATION CONTROL NOTES & DETAILS



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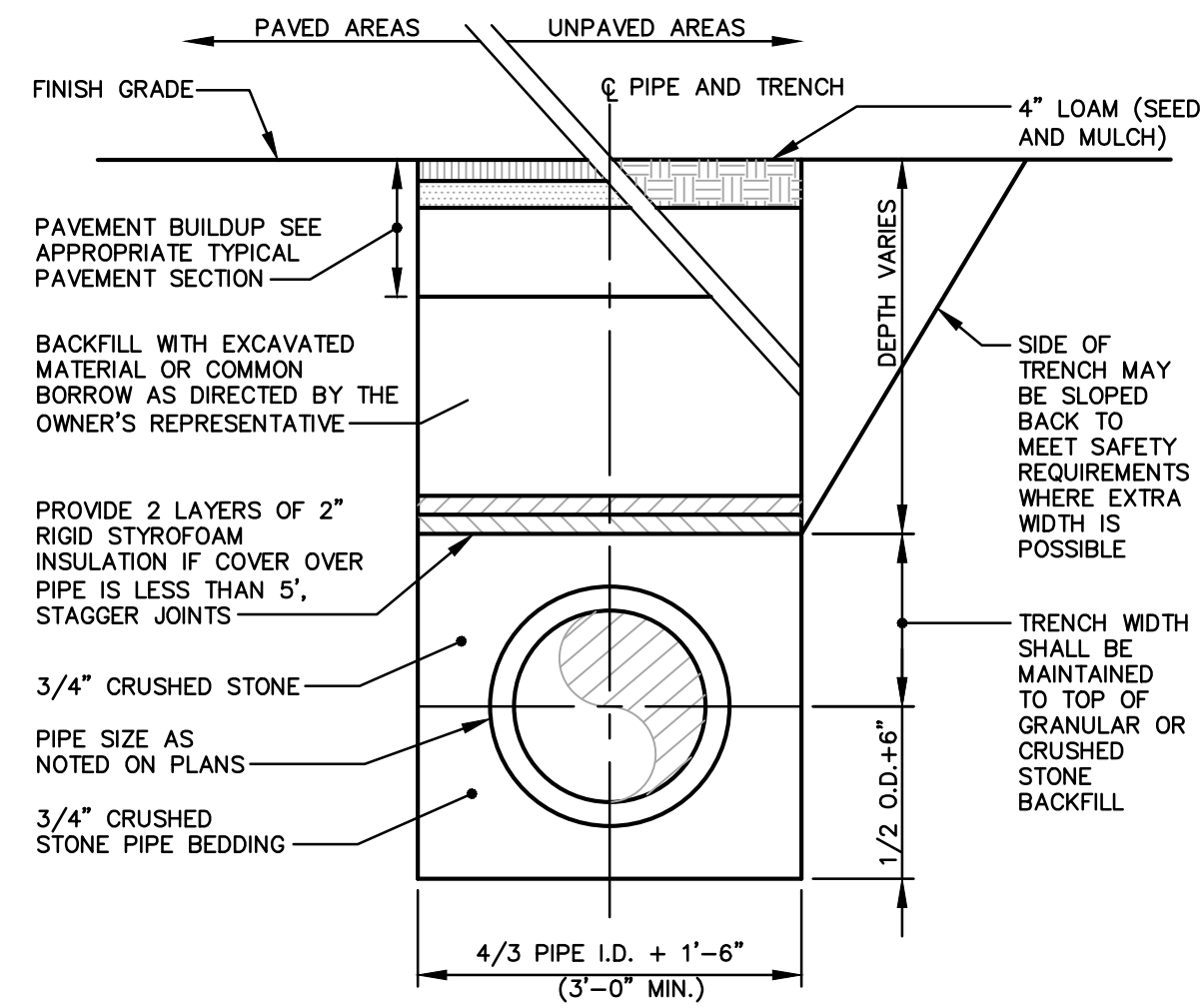
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PORTLAND, MAINE

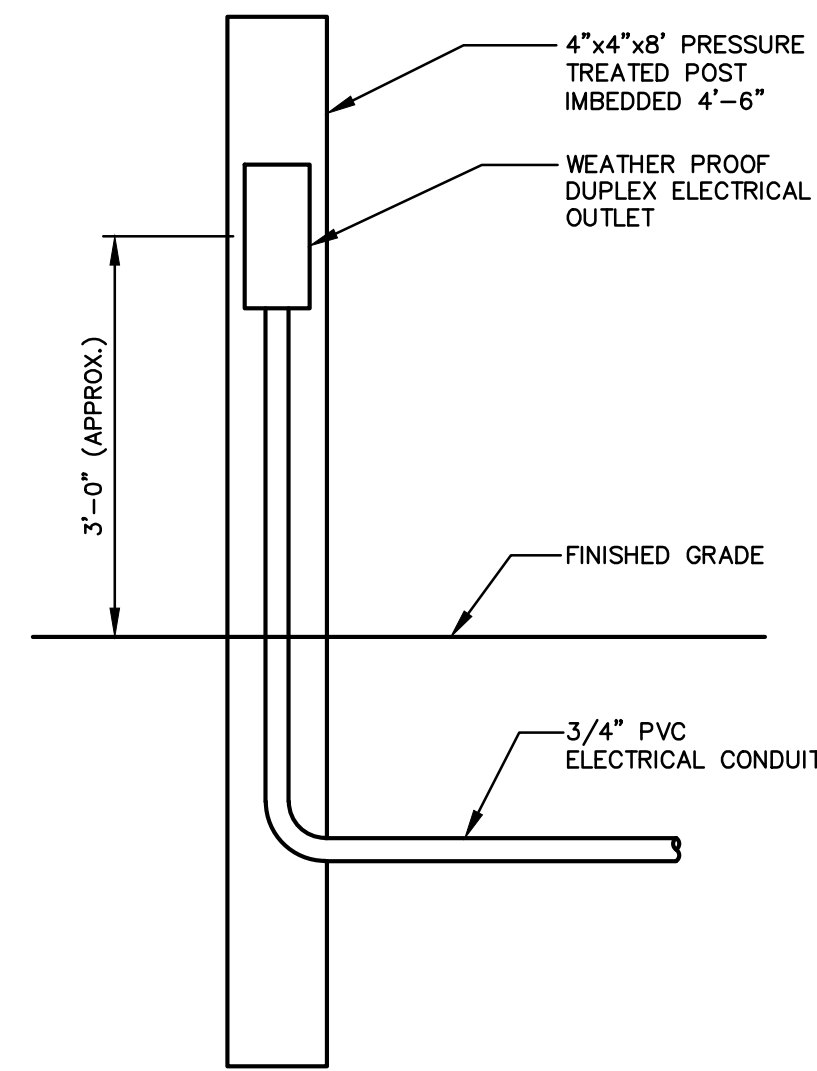
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DETAILS

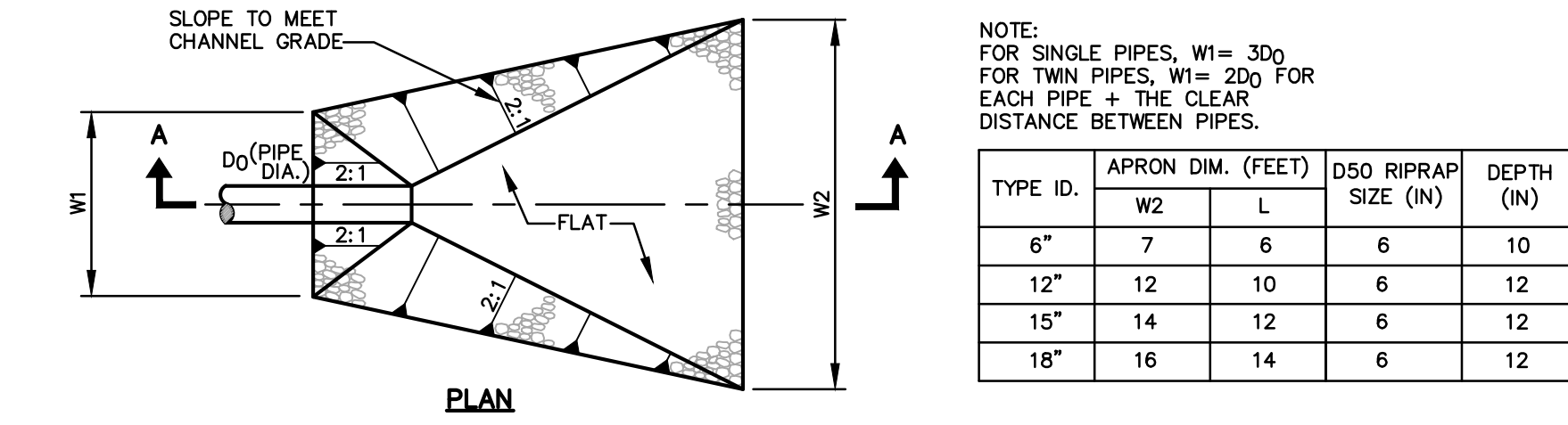
SHEET NO:



TYPICAL TRENCH SECTION
NOT TO SCALE

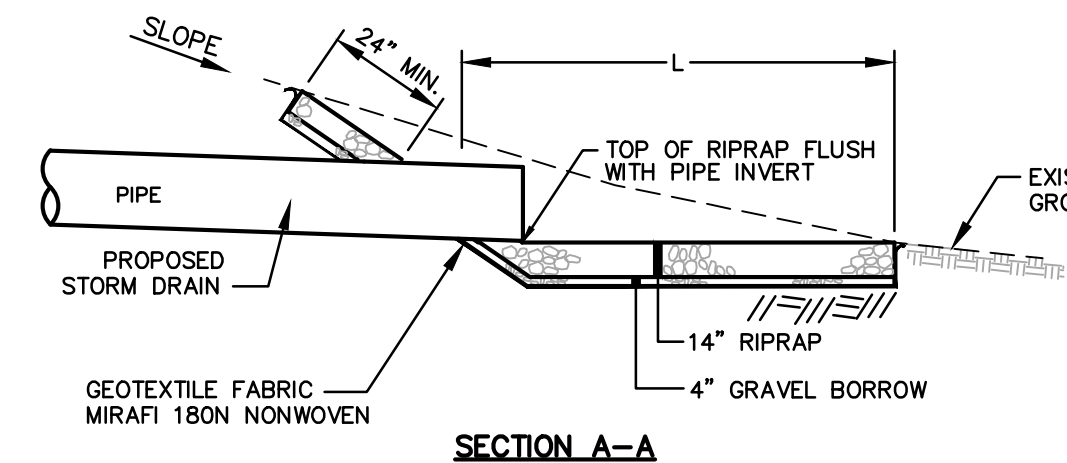


BLOCK HEATER OUTLET
NOT TO SCALE



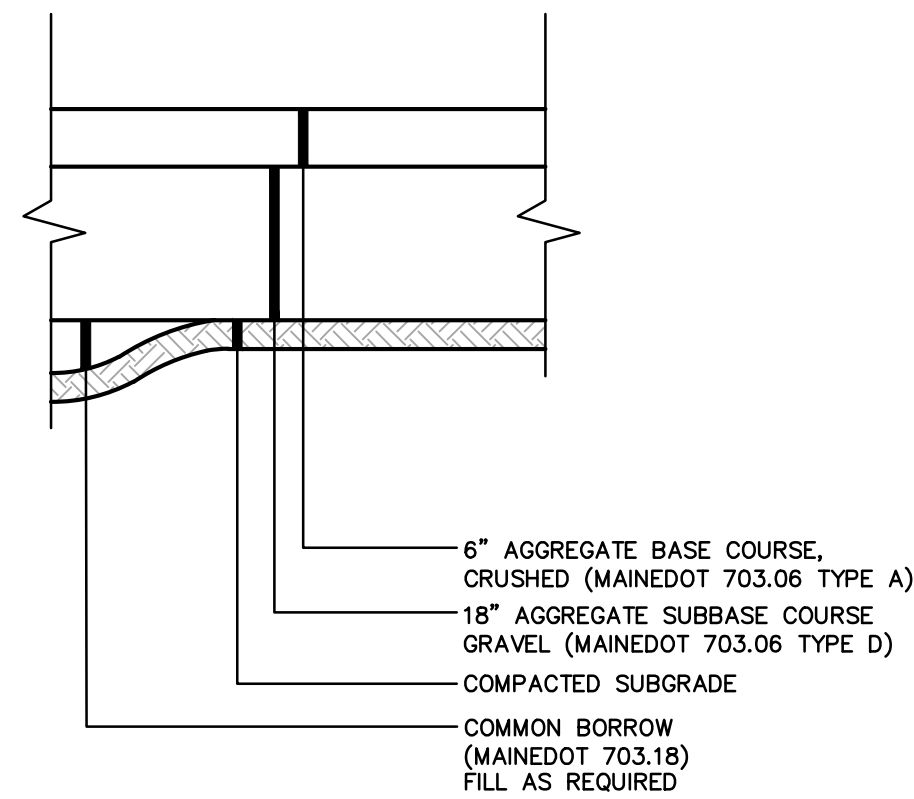
NOTE:
FOR SINGLE PIPES, W1= 3D0
FOR TWIN PIPES, W1= 2D0 FOR EACH PIPE + THE CLEAR DISTANCE BETWEEN PIPES.

TYPE ID.	APRON DIM. (FEET)	D50 RIPRAP SIZE (IN)	DEPTH (IN)
6"	7	6	10
12"	12	10	12
15"	14	12	6
18"	16	14	6



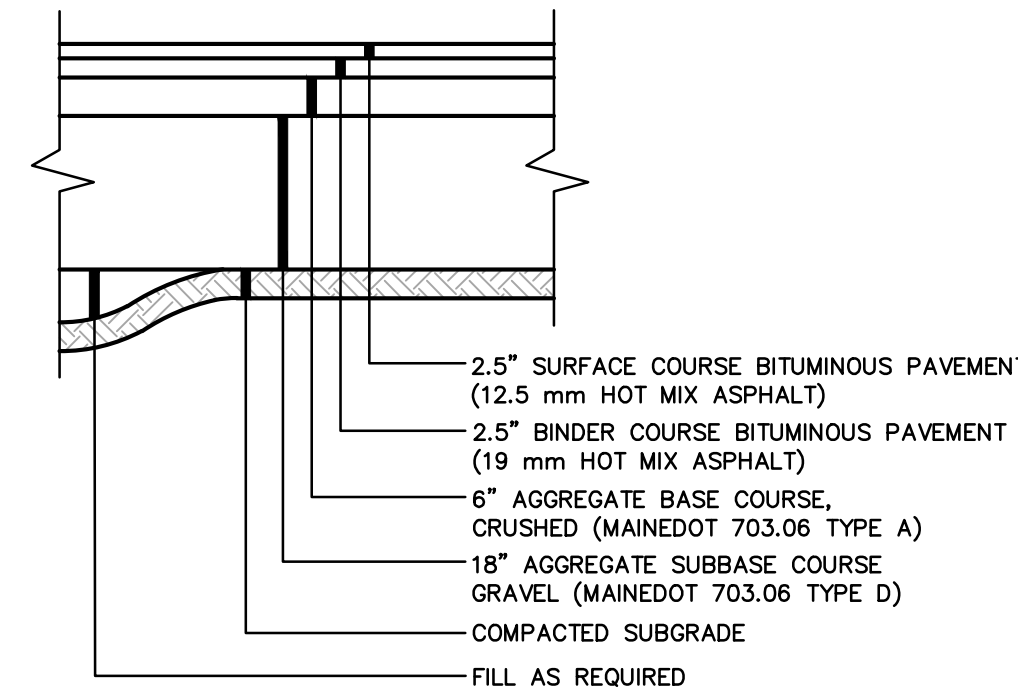
RIPRAP INLET/OUTLET PROTECTION
NOT TO SCALE

- NOTES:
- RIPRAP SIZE D50 = 6"
 - IN DEFINED CHANNELS, APRON SHALL EXTEND FULL WIDTH OF BOTTOM AND ONE FOOT ABOVE MAX. TAILWATER OR UP TO BANK FULL, WHICHEVER IS LESS.



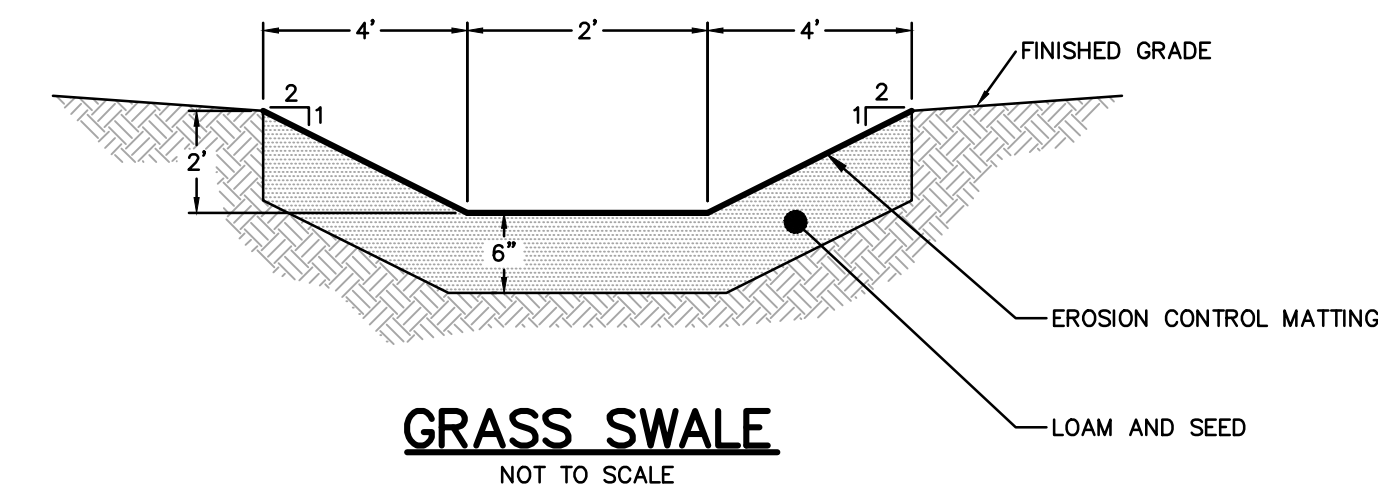
- NOTES:
- THE NON-ORGANIC ON-SITE SOILS MAY BE SUITABLE FOR REUSE AS COMMON BORROW IN GRAVEL STORAGE PAD AREA, PROVIDED THEY ARE AT A COMPACTABLE MOISTURE CONTENT AT THE TIME OF PLACEMENT.
 - ALL MATERIALS SHALL CONFORM TO MAINEDOT SPECIFICATIONS, LATEST REVISION. COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH MAINEDOT SPECIFICATIONS.

GRAVEL BUILDUP
NOT TO SCALE

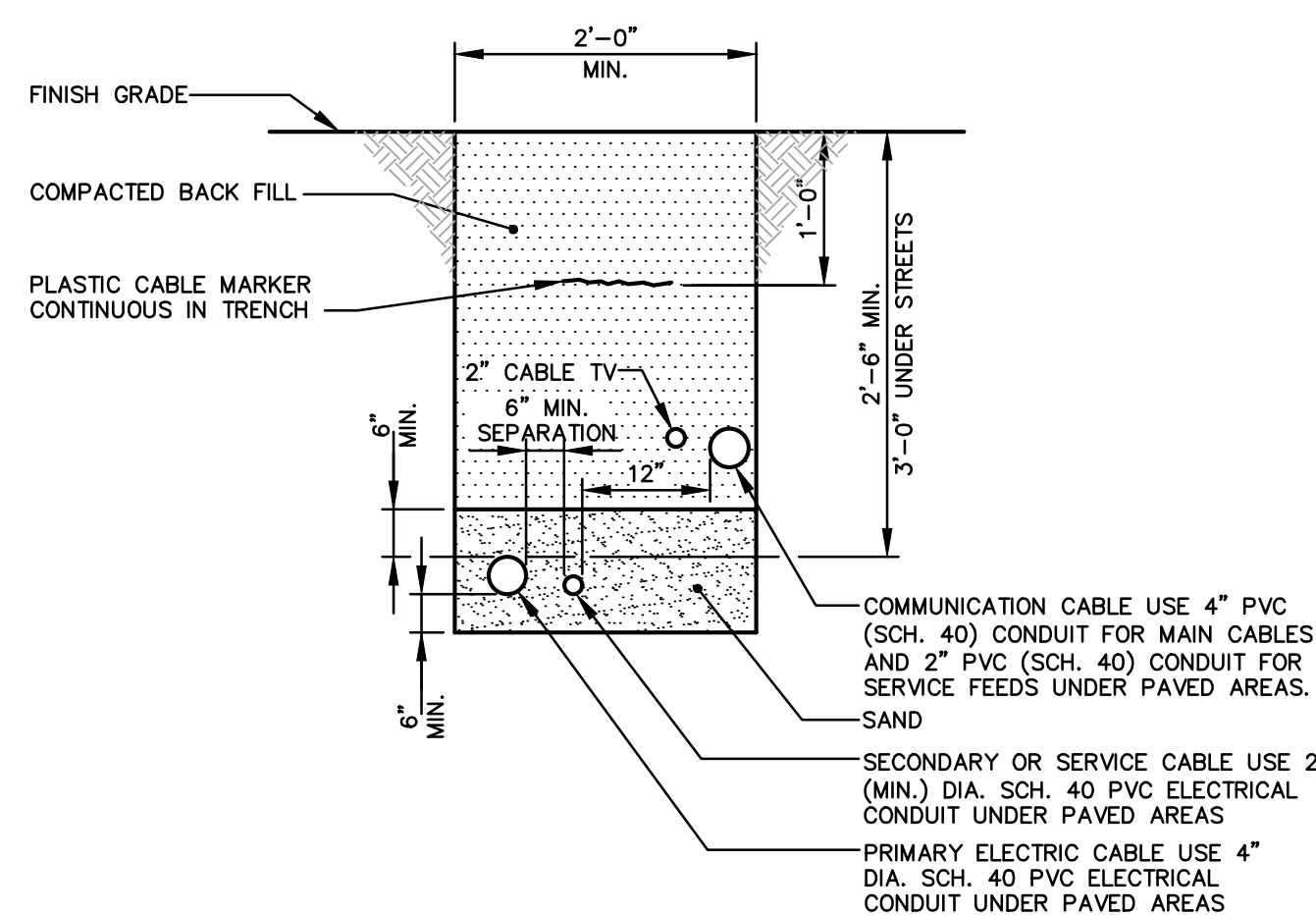


PAVEMENT BUILDUP - HEAVY DUTY
NOT TO SCALE

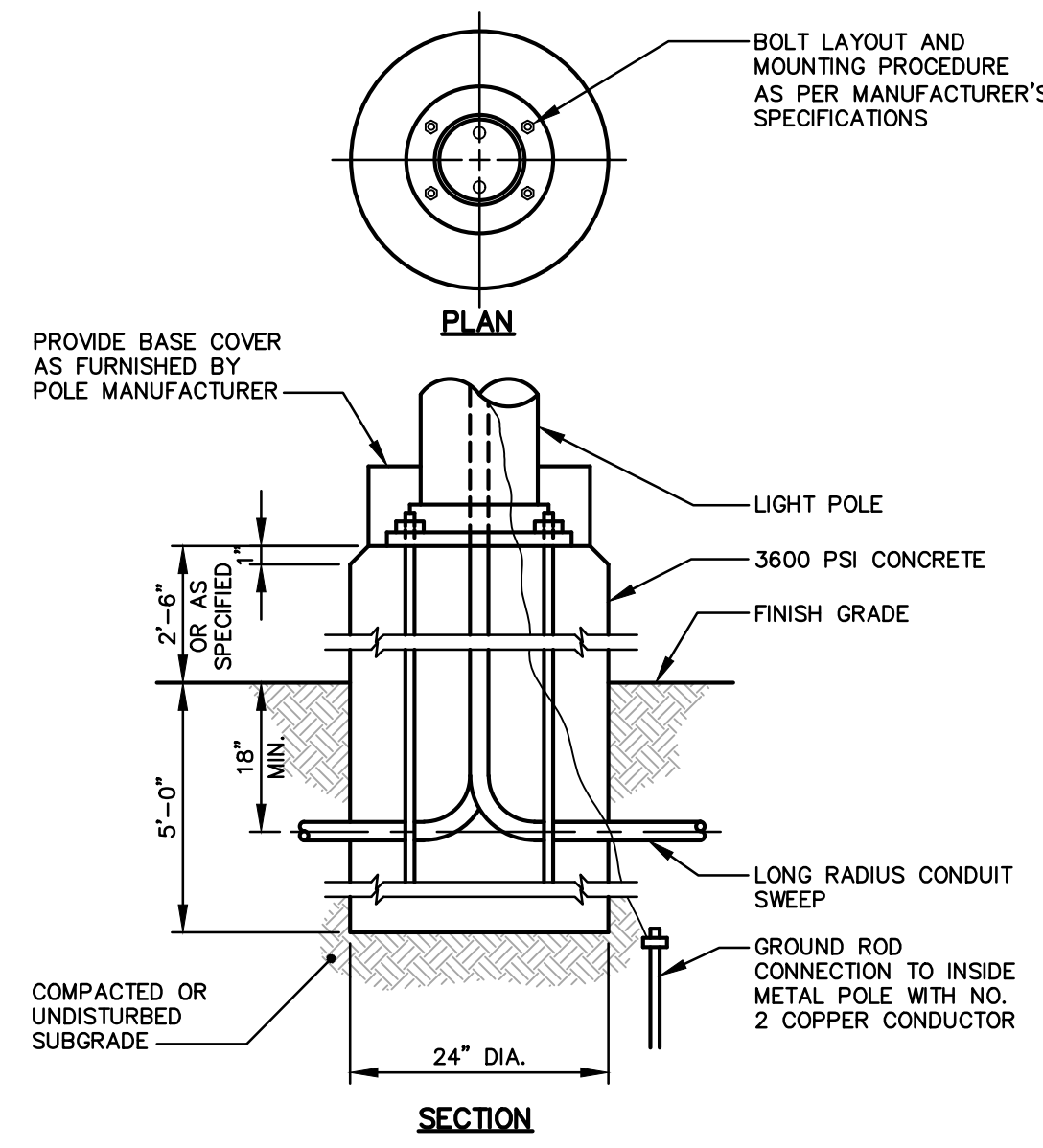
NOTE:
CONSTRUCTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH SPECIAL PROVISIONS SECTION 401 AND 403, AS PER THE STATE OF MAINE, DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES" LATEST REVISION.



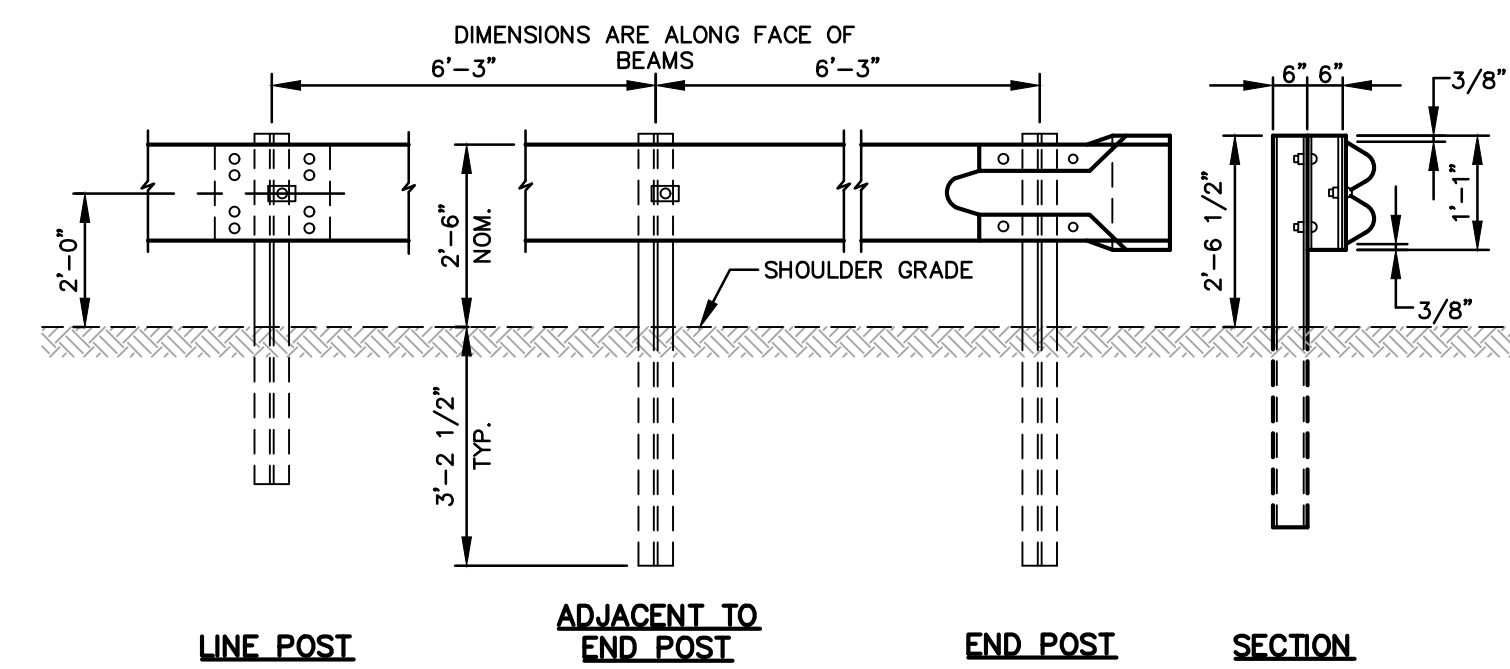
GRASS SWALE
NOT TO SCALE



UNDERGROUND ELECTRICAL & TELEPHONE CONDUIT
NOT TO SCALE

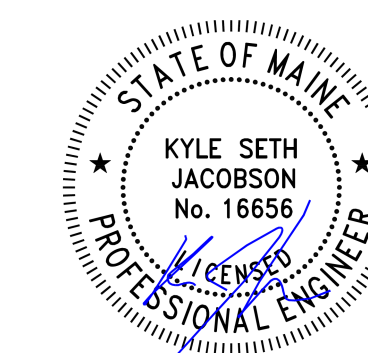


LIGHT POLE BASE
NOT TO SCALE



- NOTES:
- INTERMEDIATE POST SPACING SHALL BE 6'-3" UNLESS OTHERWISE SHOWN.
 - POST AND OFFSET BRACKETS SHALL BE 4"x 6" I-BEAM 8.5 OR 9.0 LBS. PER FOOT. LENGTH OF 5'-9" ATTACHED WITH 5/8" DIA. BOLTS WITH HEX NUTS.
 - ALL HOLES IN BEAM TO BE SHOP-PUNCHED PRIOR TO GALVANIZING.
 - RAIL PANELS AND END SECTIONS TO BE 12 GAUGE STEEL.
 - BACK-UP PLATE TO BE PLACED BEHIND RAIL ELEMENTS AT INTERMEDIATE STEEL POSTS (NON-SPLICE POSTS).
 - ALL PARTS SHALL CONFORM TO CURRENT MAINE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
 - WHEN GUARDRAIL IS CONSTRUCTED AT UP TO FOUR FEET FROM THE EDGE OF PAVEMENT, THE GUARDRAIL WILL BE SET FROM THE GRADE AT THE FACE OF RAIL.
 - END SECTIONS TO BE IN ACCORDANCE WITH CURRENT MAINE DEPARTMENT OF TRANSPORTATION STANDARDS.
 - GUARDRAIL SET ON A RADIUS OF 150 FEET OR LESS TO BE CIRCULAR.

BEAM GUARDRAIL
NOT TO SCALE



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12 TROIANO WAY
GARDINER, MAINE

CLIENT:

GARDINER TRANSFER
COMPANY, LLC
PO BOX 3541
PORTLAND, MAINE

SHEET TITLE:

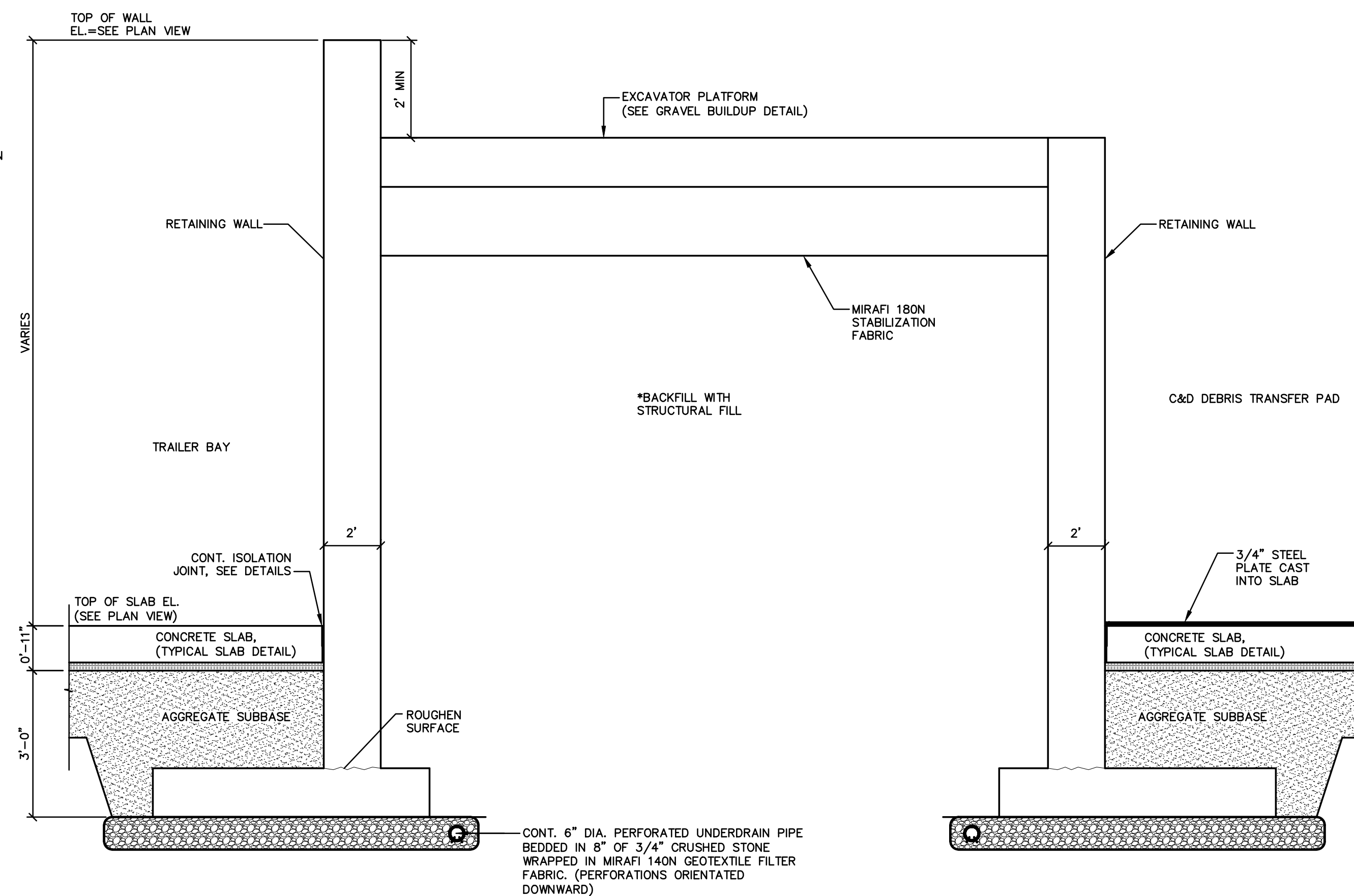
DETAILS

SHEET NO:

C-503

CONSTRUCTION NOTES

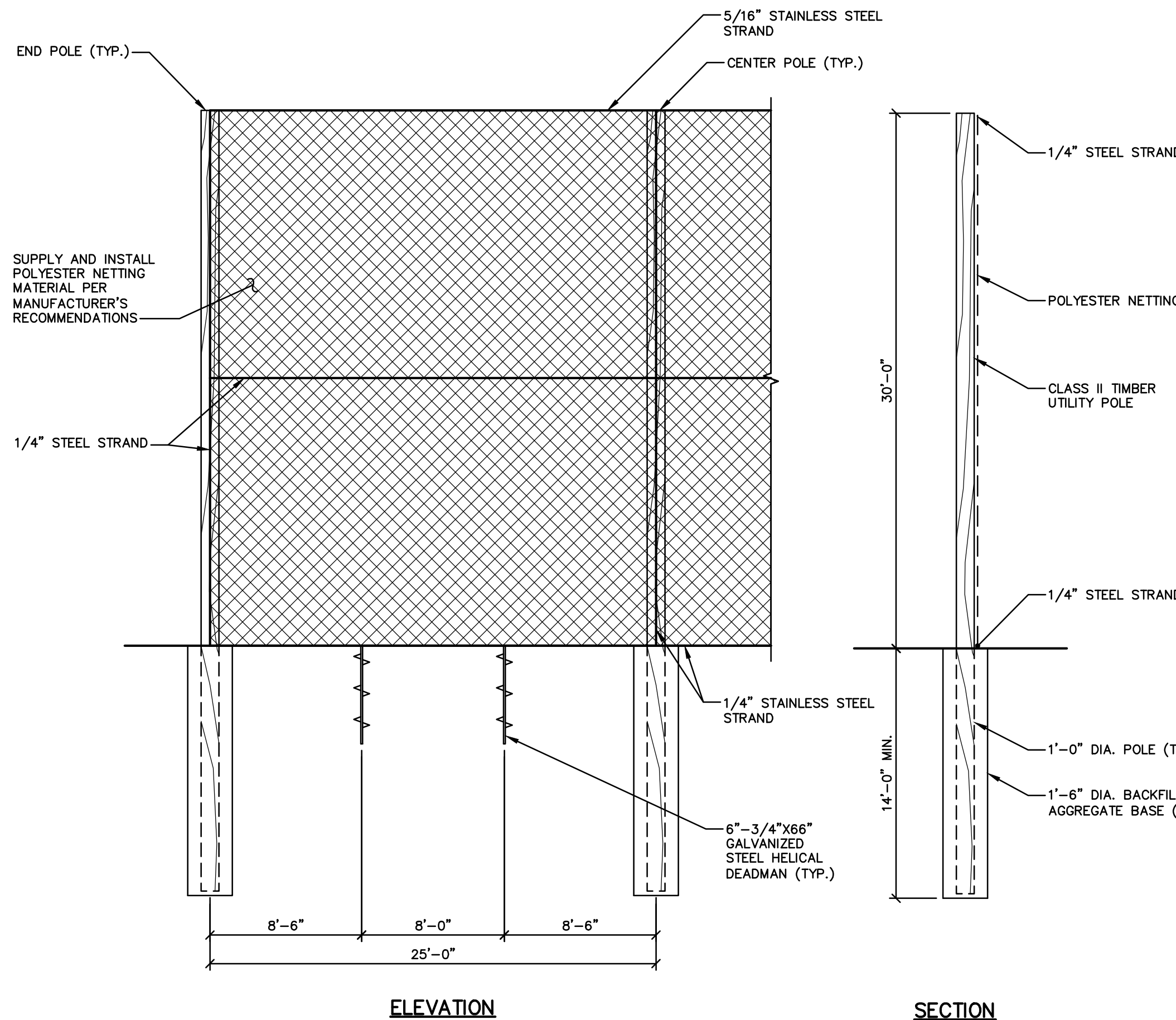
- POLES:
 - POLES SHALL BE MINIMUM 44' CLASS II TIMBER UTILITY POLES
 - GUY LINES SHALL BE INSTALLED FOR ANY POLE WHERE THERE IS A CHANGE IN DIRECTION.
 - POLES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 14 FEET AND BACKFILLED WITH AGGREGATE BASE.
 - THE CONTRACTOR SHALL LAYOUT AND STAKE THE LOCATION OF ALL POLES AND GUY WIRE ANCHORS. THE OWNER OR THE OWNER'S REPRESENTATIVE SHALL APPROVE THE STAKED LOCATIONS PRIOR TO INSTALLATION OF THE POLES AND GUY LINES.
- NETTING:
 - NETTING SHALL BE 1 INCH MESH, POLYESTER ROPE BORDERED BARRIER NET.
 - NETTING SHALL BE HIGH TENACITY POLYESTER WITH A MINIMUM MESH BREAKING STRENGTH OF 100 LBS. PER ASTM D-3787.
 - NETTING SHALL BE LONG STITCH KNOT-LESS CONSTRUCTION.
 - NETTING SHALL BE UV IMPREGNATED FIBER AND NOT DIPPED DYED OR BONDED.
 - ATTACHMENT TWINE SHALL BE NO. 42 DIAMOND BRAIDBACK POLYESTER WITH A MINIMUM 325 LB. TENSILE STRENGTH UV TREATED BLACK.
 - PERIMETER BORDER ROPE AND HORIZONTAL ROPE SHALL BE 3/8 INCH DIAMETER BLACK POLYPROPYLENE COVER OVER PARALLEL CORE WITH A MINIMUM 2,500 LB. TENSILE STRENGTH.
 - THE ATTACHMENT TWINE SHALL CONTINUALLY ENCOMPASS THE NETTING COMPONENT TO THE ROPE (SPIRAL WOUND) AND BE TIED OFF THE PERIMETER ROPE USING A CLOVE AND ONE HALF HITCH KNOT \pm 12 INCHES ON CENTER.
 - NETTING SHALL BE ATTACHED TO ALL LINES (I.E. TOP, MID, BOTTOM) USING SNAP HOOKS WITH A MAXIMUM SPACING OF 24 INCHES HORIZONTALLY AND VERTICALLY.
 - NETTING MANUFACTURE SHALL WARRANTY THE NET FOR A MINIMUM 10 YEAR PERIOD.
- CONSTRUCTION:
 - THE CONTRACTOR WILL MEASURE AND PROVIDE ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE PRIOR TO CONSTRUCTION AND THE SUBMISSION OF SHOP DRAWINGS, AND WILL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 - PROVIDE TEMPORARY BRACING AND SHORING, AS REQUIRED, TO ENSURE POLES REMAIN PLUMB DURING CONSTRUCTION.
 - PROVIDE ANY NECESSARY HARDWARE TO INSTALL NETTING IN CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.



- RETAINING WALL / FOOTING CONCRETE NOTES:**
- CONCRETE $F_c=4000$ psi, 6% ENTRAINED AIR.
 - REINFORCING GRADE 60, NEW DEFORMED BARS.
 - MAXIMUM $W/C=0.48$.
 - SEE SITE PLAN FOR LAYOUT REQUIRED.
 - PROVIDE WALL DESIGN BY MAINE LICENSED STRUCTURAL ENGINEER.

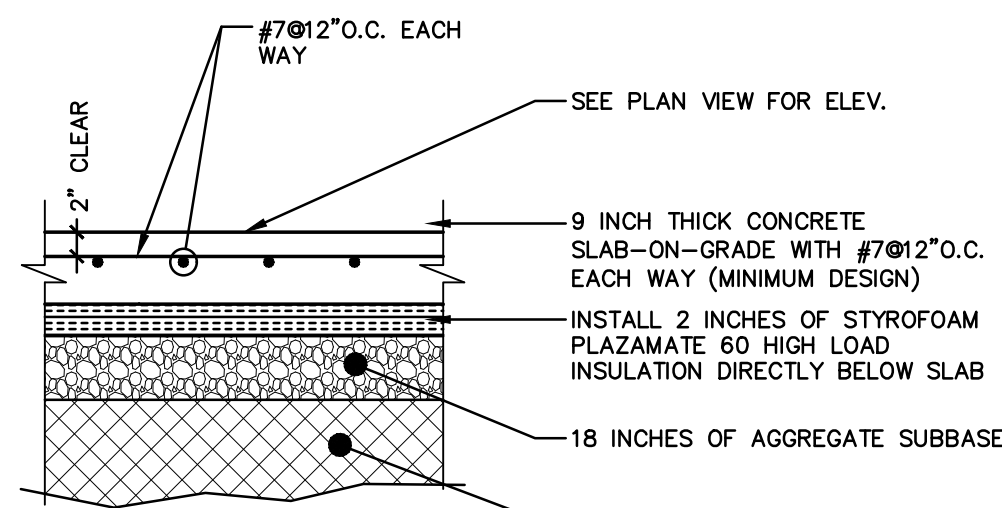
TYPICAL CONCRETE RETAINING WALL SECTION A-A'

NOT TO SCALE



LITTER FENCE SECTION

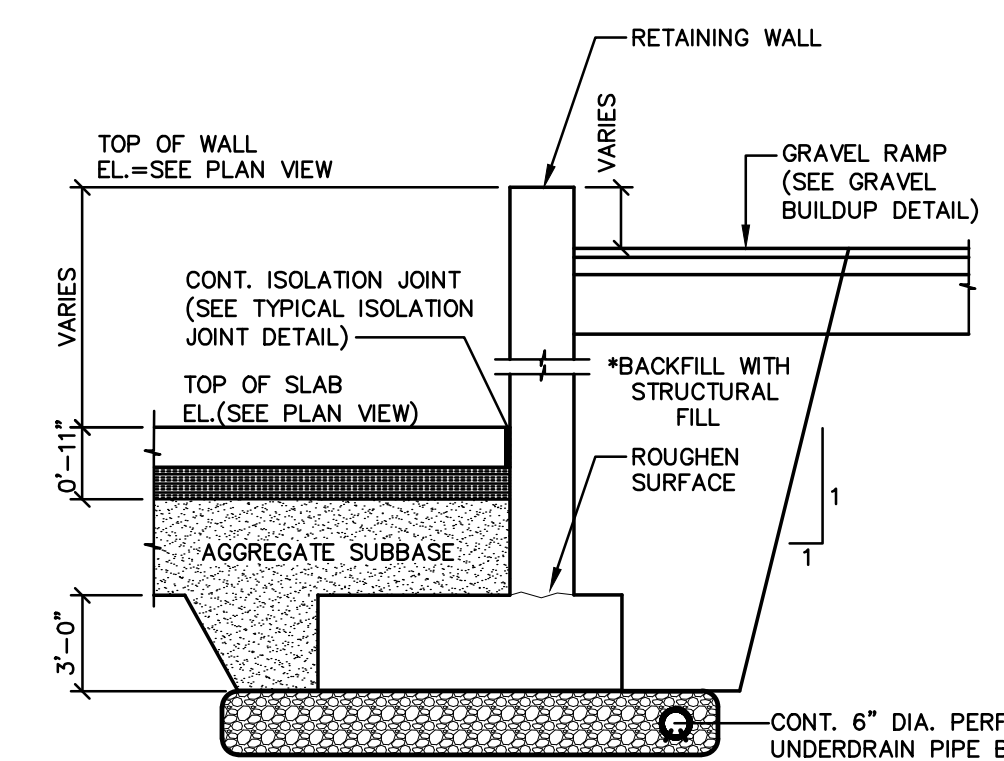
NOT TO SCALE



- SLAB NOTES:**
- CONCRETE $F_c=4500$ psi, 1 1/2\"/>

TYPICAL SLAB DETAIL

NOT TO SCALE

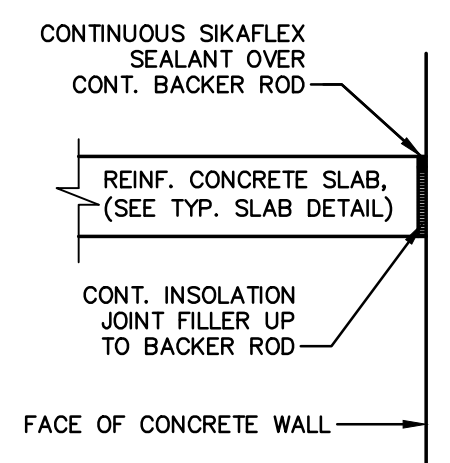


- RETAINING WALL / FOOTING CONCRETE NOTES:**
- CONCRETE $F_c=4000$ psi, 6% ENTRAINED AIR.
 - REINFORCING GRADE 60, NEW DEFORMED BARS.
 - MAXIMUM $W/C=0.48$.
 - SEE SITE PLAN FOR LAYOUT REQUIRED.

TYPICAL CONCRETE RETAINING WALL SECTION B-B'

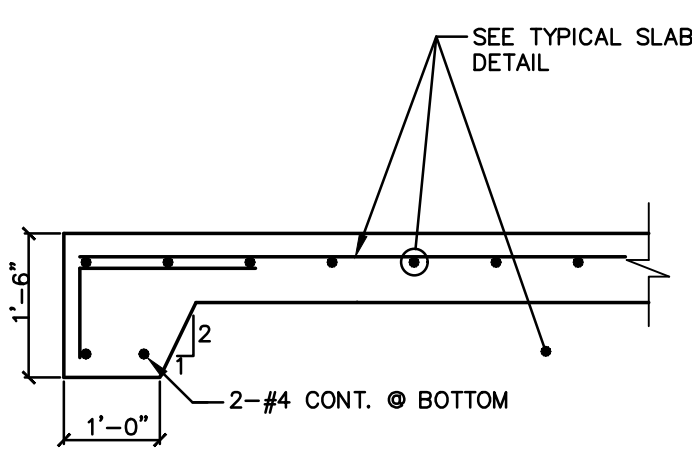
NOT TO SCALE

- NOTES:**
- CONTRACTOR TO PROVIDE STRUCTURAL DESIGN OF RETAINING WALLS AND SLABS STAMPED BY A MAINE LICENSED ENGINEER.
 - DESIGN LOADS: EXCAVATOR PLATFORM, CONCRETE PADS AND WALLS TO BE DESIGNED TO HANDLE THE FOLLOWING LOADS:
 - 60,000 LB. TRACK-MOUNT EXCAVATOR
 - 50,000 LB. RUBBER TIRE FRONT END LOADER
 - 300,000 LB. MATERIAL ON C & D DEBRIS TRANSFER PAD
 - 100,000 LB. TRACTOR TRAILER ON TRAILER BAY AND C&D DEBRIS TRANSFER PAD
 - PROVIDE STEEL PLATE FULL LENGTH OF NORTH WALL AT C&D DEBRIS TRANSFER PAD AND 20 FEET OF WEST WALL AT C&D DEBRIS TRANSFER PAD.
 - PROVIDE STAIRWAY EQUAL TO FIXED ALUMINUM INDUSTRIAL STAIR BY PRECISION LADDERS, LLC. MINIMUM STAIR WIDTH SHALL BE 22 INCHES AND 45 DEGREE MAXIMUM PITCH.



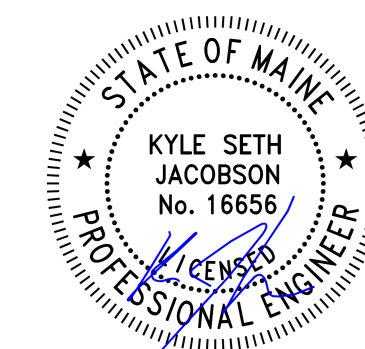
TYPICAL ISOLATION JOINT DETAIL

NOT TO SCALE



TYPICAL SLAB-EDGE DETAIL

NOT TO SCALE



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS FOR TAX MAP 2 LOT 20-22 IN GARDINER, MAINE. THE TOTAL AREA OF THE SUBJECT PARCEL IS 13.49± ACRES.
2. THE OWNER OF RECORD FOR TAX MAP 2 LOT 22 IN GARDINER, MAINE IS GARDINER TRANSFER COMPANY, LLC, C/O TROIANO WASTE SERVICES, INC., PO BOX 3541, PORTLAND, MAINE 04104 RECORDED IN THE KENNEBEC COUNTY REGISTRY OF DEEDS BOOK 12224 PAGE 103.
3. PROPERTY BOUNDARIES ARE BASED ON A PLAN ENTITLED "LIBBY HILL BUSINESS PARK PHASE 2, WEEKS ROAD AND ENTERPRISE AVENUE, GARDINER, MAINE" PREPARED BY MAINE COAST SURVEYING AND RECORDED IN THE KENNEBEC COUNTY REGISTRY OF DEEDS PLAN BOOK 2007, PAGE 137 AND 138.
4. TOPOGRAPHIC INFORMATION IS BASED ON A PLAN ENTITLED "EXISTING CONDITIONS LOTS 22 & 23 LIBBY HILL BUSINESS PARK" BY BOUNDARY ENGINEERING SURVEY TECHNOLOGY, DATED AUGUST 7, 2015. TOPOGRAPHIC ELEVATIONS ARE BASED ON TEMPORARY BENCHMARK A FROM RECORD DRAWING - MANHOLE NO. 69 RIM ELEVATION 264.80. HORIZONTAL DATA BASED ON NAD83 MAINE STATE PLANE WEST DATUM.
5. WETLAND BOUNDARIES OBTAINED FROM A FIELD SURVEY PERFORMED BY MICHAEL JOHNSON OF WOODLOT ALTERNATIVES, INC ON AUGUST 6, 2004 AND FIELD VERIFIED BY TOM TETREAU, PWS OF STANTEC CONSULTING SERVICES, INC ON DECEMBER 20, 2019.
6. SOIL TYPES FOR THE SITE WERE OBTAINED FROM THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY MEDIUM INTENSITY SOILS MAPPING. THE WATERSHED IS COMPOSED OF PAXTON-CHARLTON VERY STONY FINE SANDY LOAM (Pac) - HYDROLOGIC SOIL GROUP (HSG) D, LYMAN-TUNBRIDGE COMPLEX (Hb & Hc) - HSG D, WOODBRIDGE VERY STONY FINE SANDY LOAM (Wb) - HSG D, AND RIDGEBURY VERY STONY FINE SANDY LOAM (Rd) - HSG D.
7. PRE-DEVELOPMENT SUBCATCHMENTS:
 1S AREA: 494,880 SF
 CN=77
 Tc: 19.9 MINUTES
 A-B SF L=50' S=0.0400
 B-C SCF L=663' S=0.0483

 2S AREA: 252,274 SF
 CN=77
 Tc: 21.4 MINUTES
 A-B SF L=50' S=0.0200
 B-C SCF L=576' S=0.0512

 1R
 A-B CF L=185' S=0.0324

 2R
 A-B CF L=97.5' S=0.0821

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 DRAWN BY: PMG
 CHECKED BY: PJC
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 LIBBY HILL BUSINESS PARK
 12 TROIANO WAY
 GARDINER, MAINE

CLIENT:

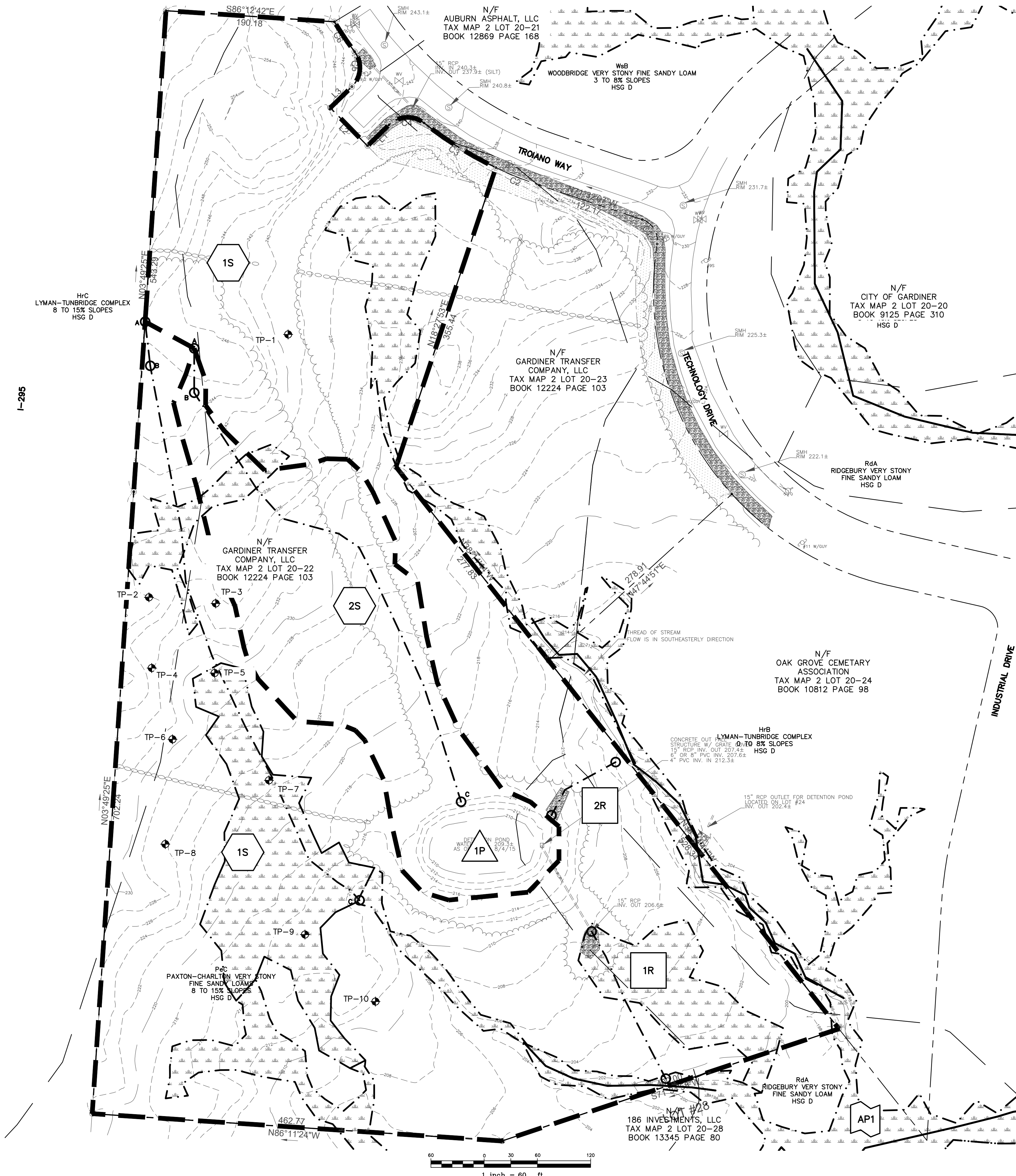
 GARDINER TRANSFER
 COMPANY, LLC
 PO BOX 3541
 PORTLAND, MAINE

SHEET TITLE:

PRE-DEVELOPMENT DRAINAGE PLAN

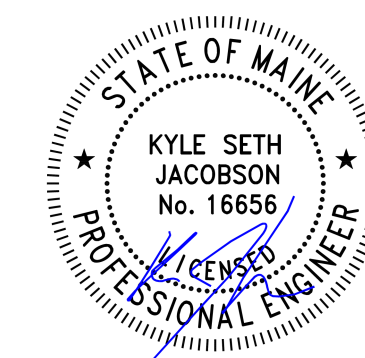
SHEET NO:

C-701



LEGEND

- PROPERTY LINE/ROW
- ADJACENT PROPERTY LINE
- SETBACKS
- MONUMENTS
- 710 --- CONTOURS
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- EDGE OF WETLAND
- WETLAND SYMBOL
- CURB
- PAVEMENT STRIPING
- BUILDINGS
- TREELINE/TREES
- STONEWALL
- SIGNS
- BOLLARDS
- UTILITY POLE
- 1S SUBCATCHMENT
- AP1 ANALYSIS POINT
- 1P POND
- A---B TC FLOWPATH
- SUBCATCHMENT BOUNDARY
- NRCS SOIL BOUNDARY



NOTES:

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7. POST-DEVELOPMENT SUBCATCHMENTS:

- 1.1S AREA: 151,367 SF
CN=98
Tc: 6.0 MINUTES
A-B SF L=50' S=0.1700
B-C SCF L=289' S=0.0398
- 1.2S AREA: 122,621 SF
CN=98
Tc: 6.0 MINUTES
A-B SF L=50' S=0.1600
B-C SCF L=291' S=0.0344
- 1.3S AREA: 41,380 SF
CN=77
Tc: 7.5 MINUTES
A-B SF L=50' S=0.1200
B-C SCF L=291' S=0.0429
- 2.1S AREA: 83,556 SF
CN=98
Tc: 6.0 MINUTES
A-B SF L=50' S=0.0600
B-C SCF L=62' S=0.0806
- 1R
A-B CF L=185' S=0.0324
- 2R
A-B CF L=97.5' S=0.0821
- 3R
A-B CF L=790' S=0.0354

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12 TROIANO WAY
GARDINER, MAINE

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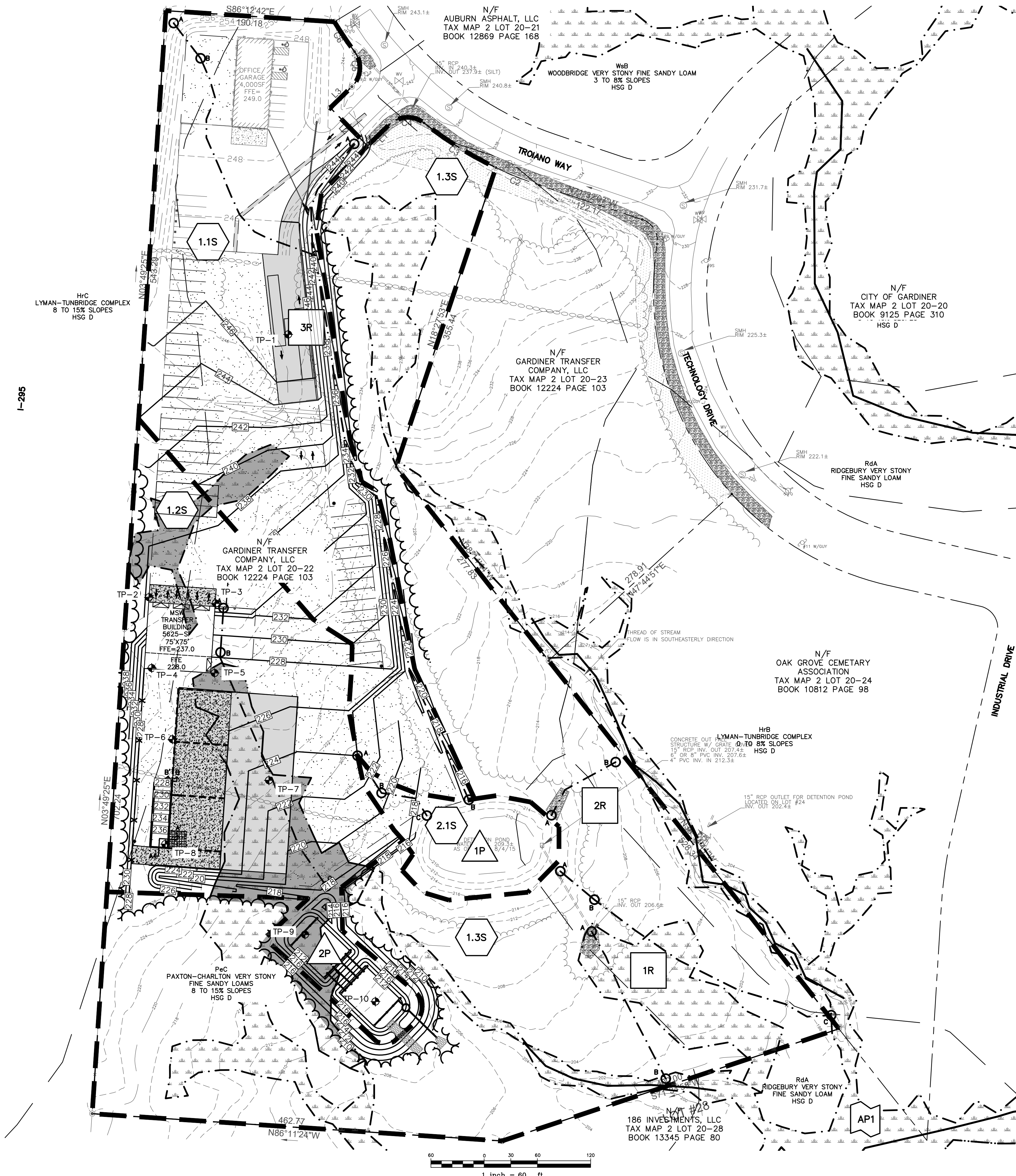
GARDINER TRANSFER
COMPANY, LLC
PO BOX 3541
PORTLAND, MAINE

SHEET TITLE:

POST-DEVELOPMENT DRAINAGE PLAN

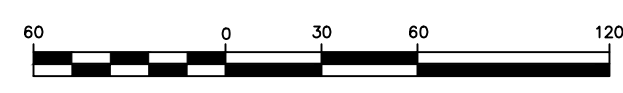
SHEET NO:

C-702



LEGEND

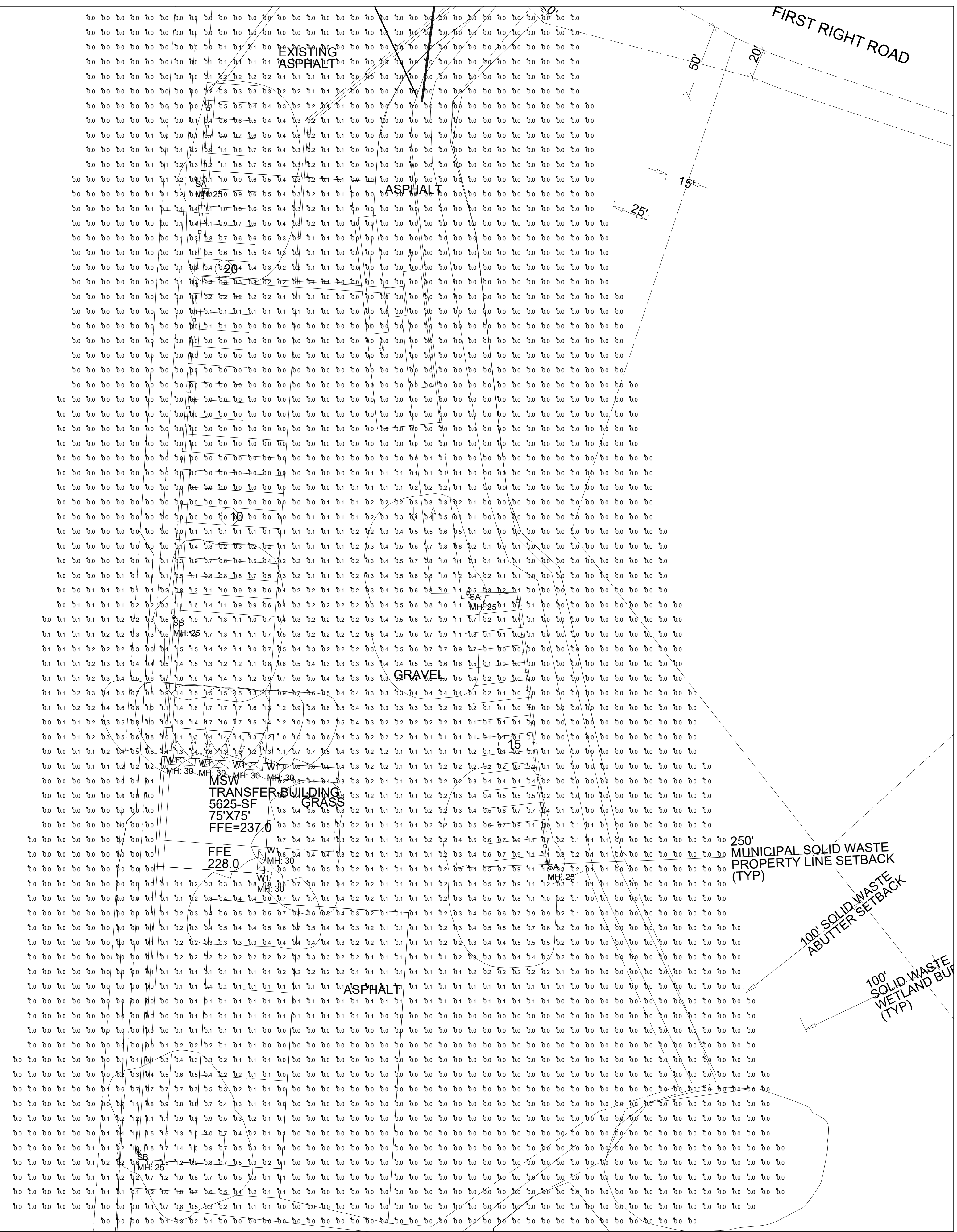
- PROPERTY LINE/ROW
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M:_Code Drawings - Dwg\Active Dwg\1172 - Troiano\1172-0002 - TWS Gardiner\DWG\1172-0002 - STP10.dwg 7/20/2022 11:24:46 AM

I-285

I-295



- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 - 2) CALCULATIONS MAY OR MAY NOT SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
 - 3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOTCANDLES ON A FLAT SITE WITHOUT REFLECTIONS OR OBSTRUCTIONS UNLESS OTHERWISE INDICATED.
 - 4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO SWANEY LIGHTING ASSOCIATES AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.
 - 5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
 - 6) THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 - 7) DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY APPEAR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
SITE	0.13	1.9	0.0	N.A.	N.A.

Luminaire Schedule (note fixture catalogue numbers are not complete)					
Type	Qty	Lum. Lumens	LLF	Lum. Watts	Description
SA	3	7908	0.900	81	VP-S-36L-80-3K7-4W
W1	6	3971	0.900	44	LNC2-18L-3K-070-4
SB	2	8100	0.900	81	VP-S-36L-80-3K7-4

PLAN VIEW

LIBBY HILL - TRANSFER STATION
GARDINER, ME
SITE LIGHTING LAYOUT

GENERATED FOR: ST GERMAIN

SCALE: NOT TO SCALE

DATE: 6/30/2021

GENERATED BY: SWANEY LIGHTING, SCARBOROUGH, ME - 207-883-7100 - swaneylighting.com

Page 1 of 1

SWANEY LIGHTING ASSOCIATES, INC.

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DRAFT

REV.	DATE	REVISION DESCRIPTION

DESIGNED BY: KSJ
DRAWN BY: PMG
CHECKED BY: PJC
DATE: 7/20/2022
FILE NAME: 1172-0002 ARC01.dwg

PROJECT NAME:

LOT 22
LIBBY HILL BUSINESS PARK
12 TROIANO WAY
GARDINER, MAINE

CLIENT:

GARDINER TRANSFER
COMPANY, LLC
PO BOX 3541
PORTLAND, MAINE

SHEET TITLE:

**PROPOSED
BUILDING
ELEVATIONS**

SHEET NO:

A-101

