

**PLAN REFERENCES:**

- 1) "Boundary Survey, Libby Hill Business Park Phase 2, Weeks Road and Enterprise Avenue, Gardiner, Maine" by Maine Coast Surveying, revised through 4/10/07, recorded at the Kennebec County Registry of Deeds in Plan Book 2007-Page 137.
- 2) "Overall Buffer Plan, Libby Hill Business Park Phase 2, Weeks Road and Enterprise Avenue, Gardiner, Maine" by Milone & MacBroom, dated April 3, 2008, recorded at the Kennebec County Registry of Deeds in Plan 2008-Page 111.
- 3) "Libby Hill Business Park Lots 10 11, 12, Gardiner, Kennebec County, Maine" by Maine Coast Surveying, dated November 21, 2007, recorded at the Kennebec County Registry of Deeds in Plan Book 2008-Page 19.

**LEGEND**

- IRON ROD FOUND
- MONUMENT FOUND
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- HYDRANT
- WATER VALVE
- UNDERGROUND WATER LINE
- SIGN
- EXISTING CONTOUR
- APPARENT PROPERTY LINE
- STONE WALL
- CATCH BASIN
- STORM PIPE
- SANITARY MANHOLE
- SANITARY LINE
- SETBACK
- CONIFEROUS TREE
- DECIDUOUS TREE
- VEGETATION
- APPROXIMATE WETLANDS

**HARPER'S II, LLC**  
BOOK 6315-PAGE 11  
TAX MAP 7 LOT 18A-14

**DEEFIELD ASSOCIATION, LLC**  
BOOK 11949-PAGE 167  
TAX MAP 7 LOT 18A-13

**R&S 860 BRUNSWICK AVENUE, LLC**  
BOOK 14434-PAGE 1  
TAX MAP 2 LOT 20-17  
2.8 ACRES

**R&S 860 BRUNSWICK AVENUE, LLC**  
BOOK 14434-PAGE 1  
TAX MAP 2 LOT 20-21  
19.9 ACRES

**CITY OF GARDINER**  
BOOK 9125-PAGE 310  
TAX MAP 2 LOT 20-20

**LOCUS MAP**  
GARDINER  
USGS QUAD SHEET  
SCALE 1"=1000'

**GARDINER TRANSFER COMPANY, LLC**  
BOOK 12224-PAGE 103  
TAX MAP 2 LOT 20-23

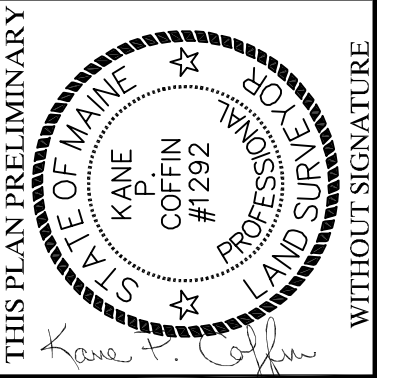
**GARDINER TRANSFER COMPANY, LLC**  
BOOK 12224-PAGE 103  
TAX MAP 2 LOT 20-22

**CITY OF GARDINER**  
BOOK 5034-PAGE 273  
TAX MAP 7 LOT 18A-15

**SURVEYOR'S NOTES:**

The purpose of this plan is to show the existing topographical conditions of the proposed area to be developed by Auburn Asphalt, LLC. This is not a boundary survey. Property lines are taken from Plan Reference 1. Wetlands and associated setbacks are taken from Plan Reference 2. Underground utilities shown are taken from a plan provided by Milone & MacBroom.

Coffin Topo elevations are shown to the nearest one foot contour interval, derived from TBM 'A' shown on Plan Reference 3. GIS Topo elevations are shown at two foot contour intervals, derived from the Maine GIS website. Directions are Grid North, derived from Plan Reference 1.



**E.S. COFFIN**  
ENGINEERING & SURVEYING, INC.  
432 Com Road, P.O. Box 487, Augusta, Maine 04330  
PH: (207) 625-9473 Fax: (207) 625-9476 Toll Free: 1-800-254-9473

NO.	DATE	REVISIONS

**TOPOGRAPHIC SURVEY**

SCALE: 1 INCH=50 FEET  
DRAWN BY: MIG  
CHECKED BY: KPC

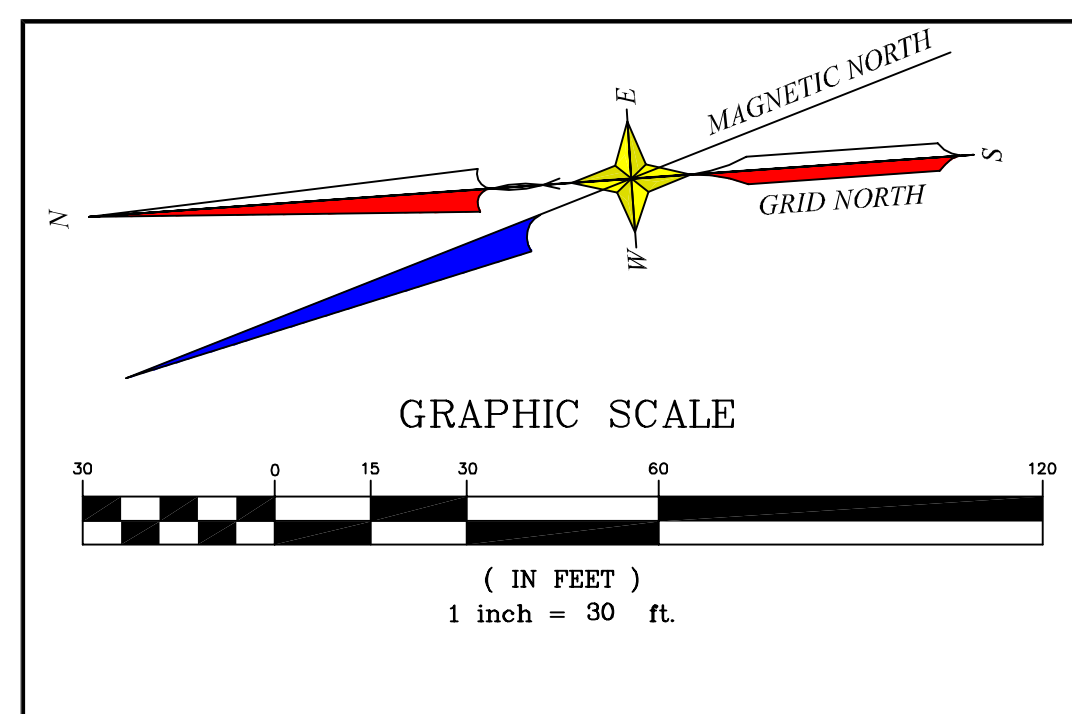
DATE: AUGUST 11, 2023

CLIENT/PROJECT: **GRA REAL ESTATE HOLDINGS, LLC.**  
LOCATION: **TROIANO WAY**  
TOWN: **GARDINER** COUNTY: **KENNEBEC** STATE: **MAINE**

PROJ. NO. **2023-059**

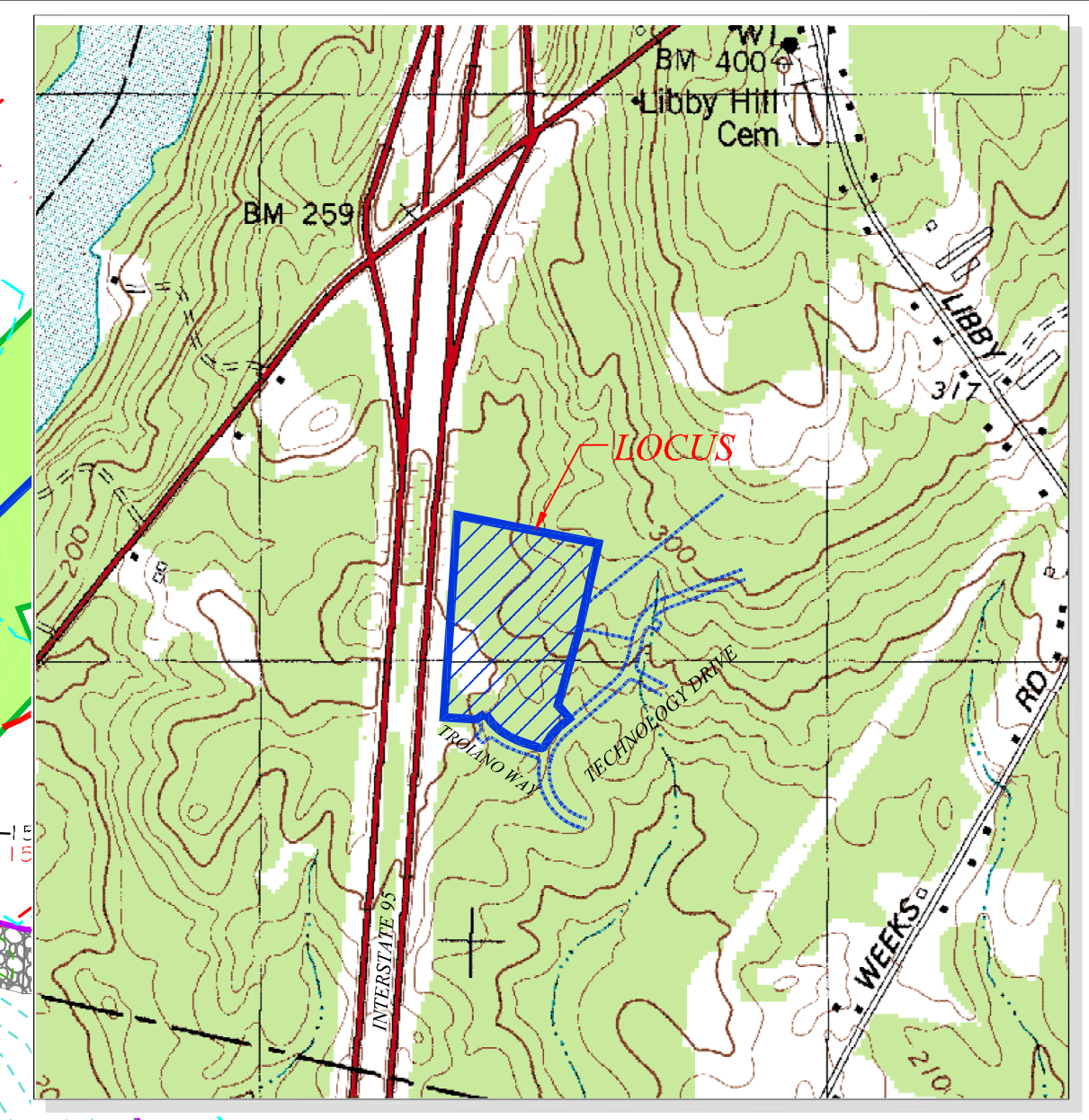
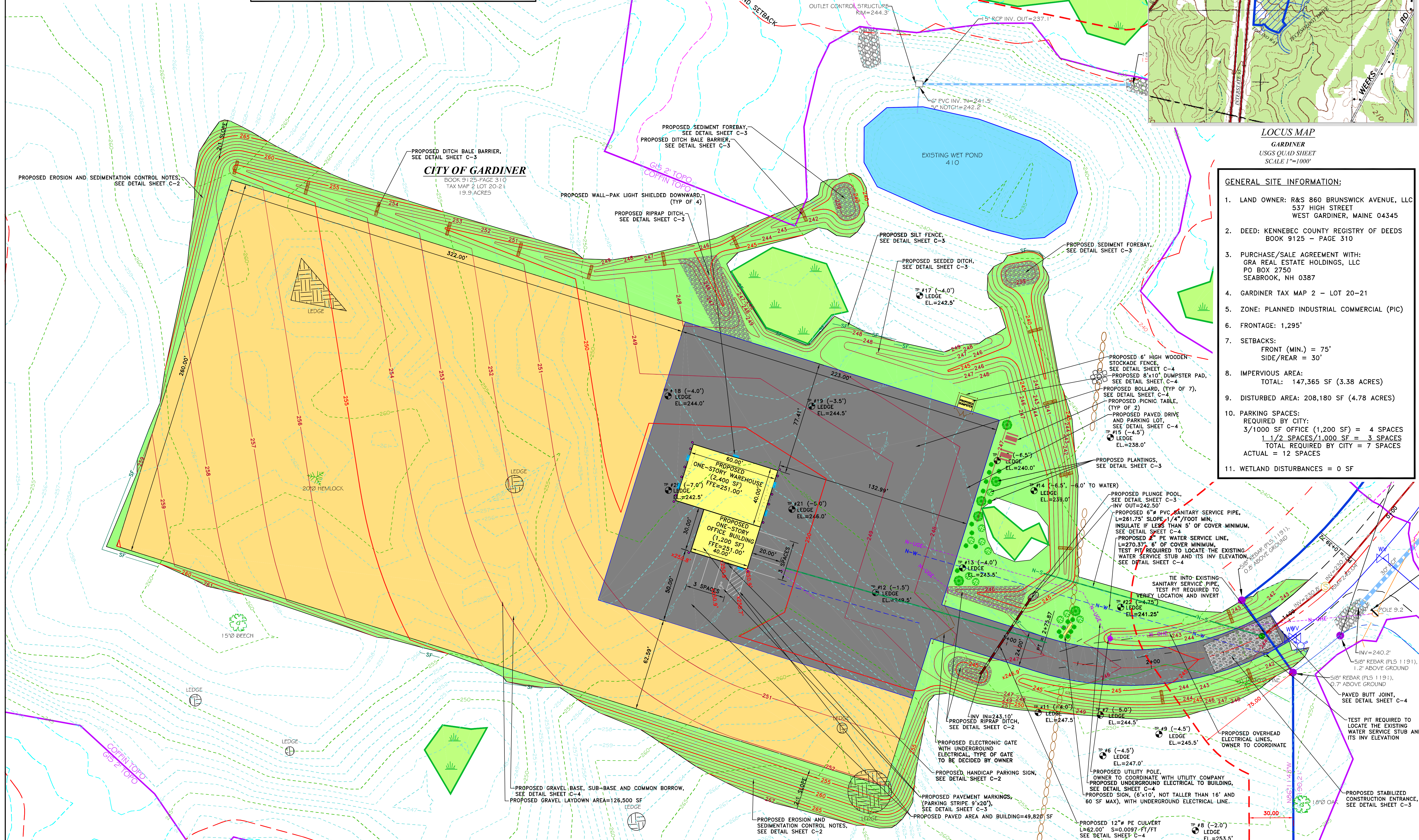


Kane P. Coffin, PLS #1929  
an agent of E.S. Coffin Engineering & Surveying, Inc.  
No warranty is made to others utilizing this plan for the purpose of further divisions, title cartifications, deed descriptions, construction, etc.



**LEGEND**

●	IRON ROD FOUND	---	EXISTING CONTOUR
○	IRON PIPE FOUND	---	PROPOSED CONTOUR
○	DRILL HOLE IN LEDGE	---	SURVEYED LINE
○	GRANITE MONUMENT FOUND	---	STOCKADE FENCE
○	5/8" REBAR PROPOSED	---	WIRE FENCE
○	UTILITY POLE	---	GUARDRAIL
○	GLY ANCHOR	---	STONE WALL
○	OVERHEAD UTILITY LINE	---	CATCH BASIN
○	BELOW GROUND ELECTRIC	---	STORM PIPE
○	LIGHT	---	SANITARY MANHOLE
○	HYDRANT	---	SANITARY LINE
○	WATER VALVE	---	SETBACK
○	WELL	---	TEST PIT
○	UNDERGROUND WATER LINE	---	CONIFEROUS TREE
○	SIGN	---	DECIDUOUS TREE
○	FLAG	---	VEGETATION
○		---	APPROXIMATE WETLANDS



**GENERAL SITE INFORMATION:**

- LAND OWNER: R&S 860 BRUNSWICK AVENUE, LLC  
537 HIGH STREET  
WEST GARDINER, MAINE 04345
- DEED: KENNEBEC COUNTY REGISTRY OF DEEDS  
BOOK 9125 - PAGE 310
- PURCHASE/SALE AGREEMENT WITH:  
GRA REAL ESTATE HOLDINGS, LLC  
PO BOX 2750  
SEABROOK, NH 0387
- GARDINER TAX MAP 2 - LOT 20-21
- ZONE: PLANNED INDUSTRIAL COMMERCIAL (PIC)
- FRONTAGE: 1,295'
- SETBACKS:  
FRONT (MIN.) = 75'  
SIDE/REAR = 30'
- IMPERVIOUS AREA:  
TOTAL: 147,365 SF (3.38 ACRES)
- DISTURBED AREA: 208,180 SF (4.78 ACRES)
- PARKING SPACES:  
REQUIRED BY CITY:  
3/1000 SF OFFICE (1,200 SF) = 4 SPACES  
1 1/2 SPACES/1,000 SF = 3 SPACES  
TOTAL REQUIRED BY CITY = 7 SPACES  
ACTUAL = 12 SPACES
- WETLAND DISTURBANCES = 0 SF

**E.S. COFFIN**  
PROFESSIONAL ENGINEERING & SURVEYING, INC.  
432 Corn Road, P.O. Box 467, Augusta, Maine 04330  
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NO.	REVISIONS	DATE

**SITE PLAN**

SCALE: 1 INCH=30 FEET

CLIENT/PROJECT: **GRA REAL ESTATE HOLDINGS, LLC**

LOCATION: FIRST RIGHT ROAD & TECHNOLOGY DRIVE

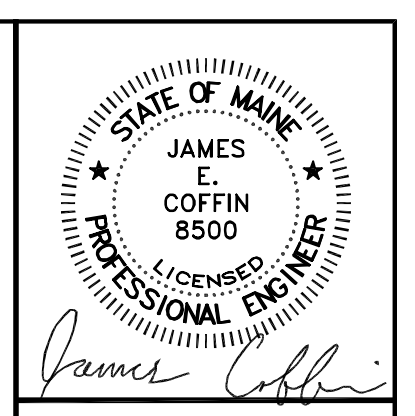
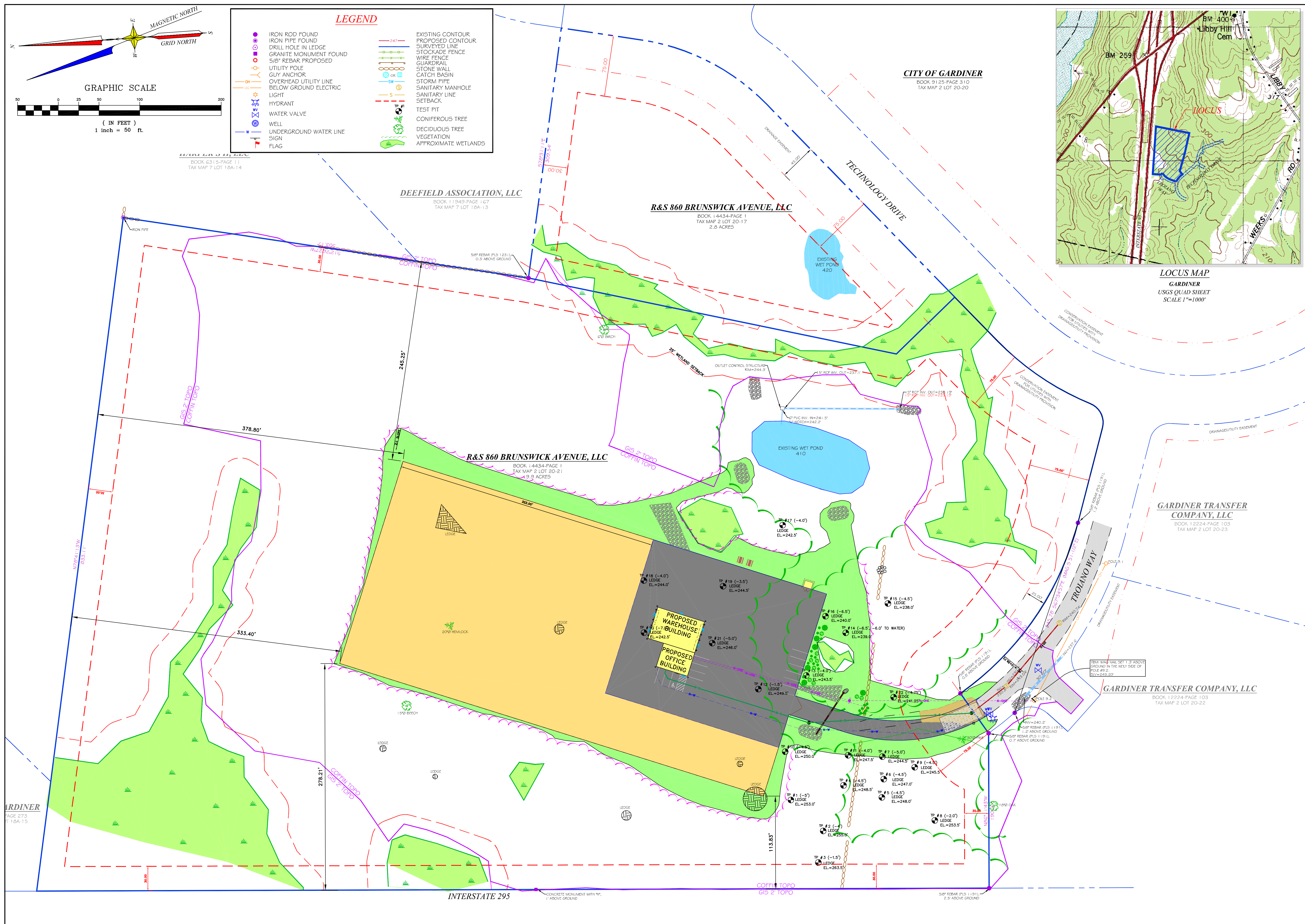
TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE

DATE: AUGUST 24, 2023

DRAWN BY: TCH  
CHECKED BY: JEC

PROJ. NO. 2023-059

C-1



**E.S. COFFIN**  
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NO.	REVISIONS	DATE

**SHEET TITLE:**  
50 SCALE OVERALL SITE PLAN

**SCALE:**  
1 INCH=50 FEET

**DRAWN BY:** TCH

**CHECKED BY:** JEC

**DATE:** AUGUST 24, 2023

**CLIENT/PROJECT:**  
GRA REAL ESTATE HOLDINGS, LLC

**LOCATION:** FIRST RIGHT ROAD & TECHNOLOGY DRIVE

**TOWN:** GARDINER

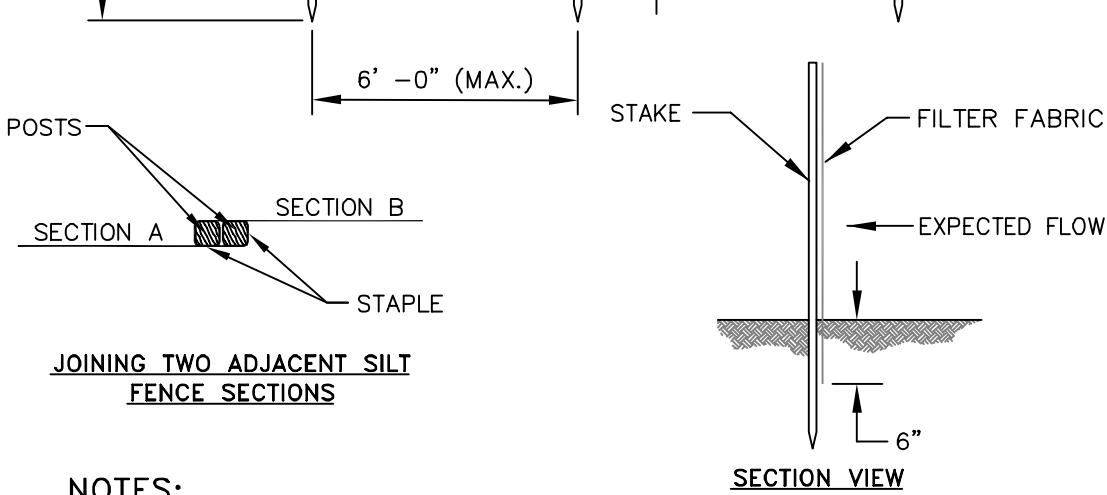
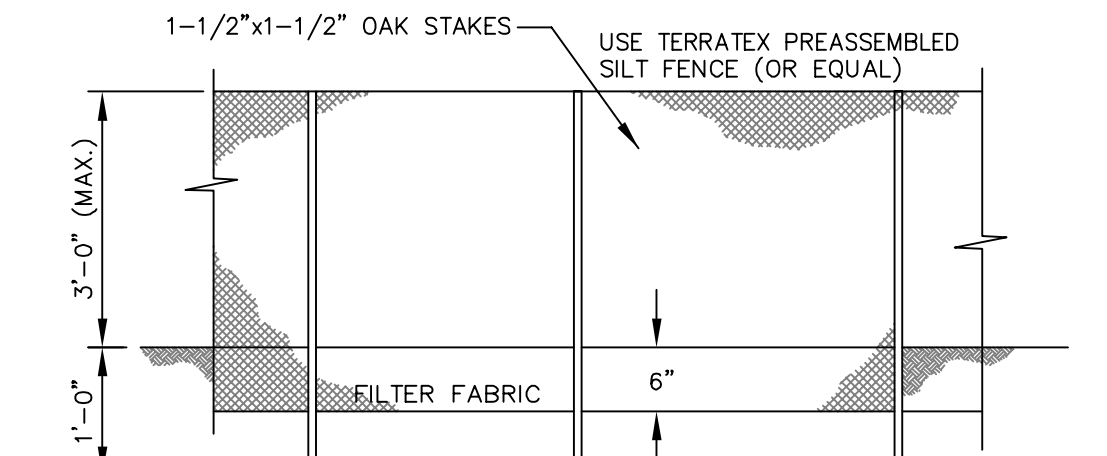
**COUNTY:** KENNEBEC

**STATE:** MAINE

**PROJ. NO.:** 2023-059

**C-2**





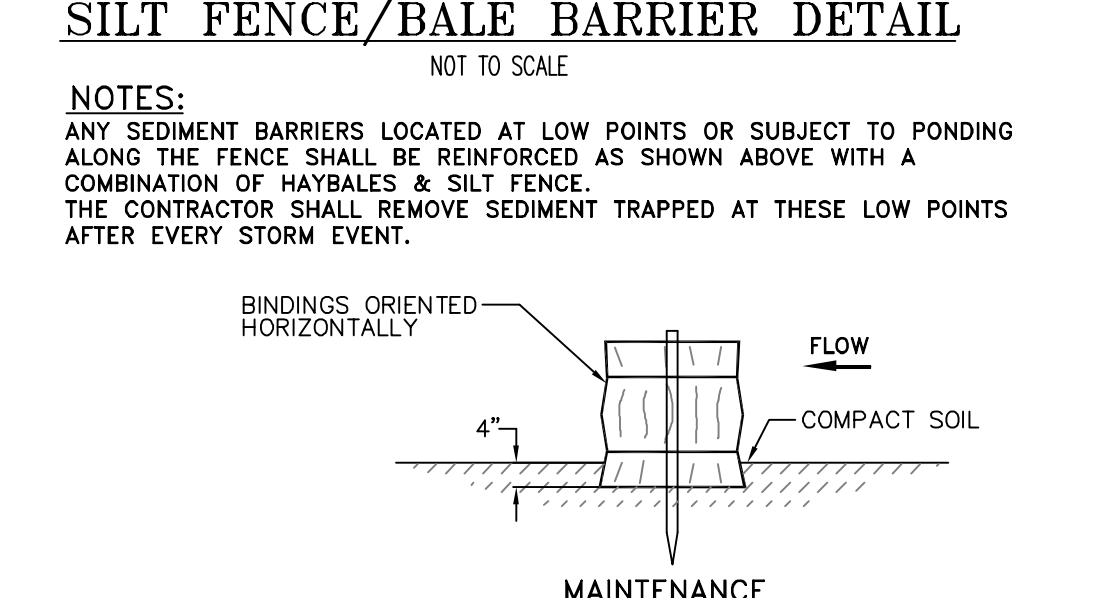
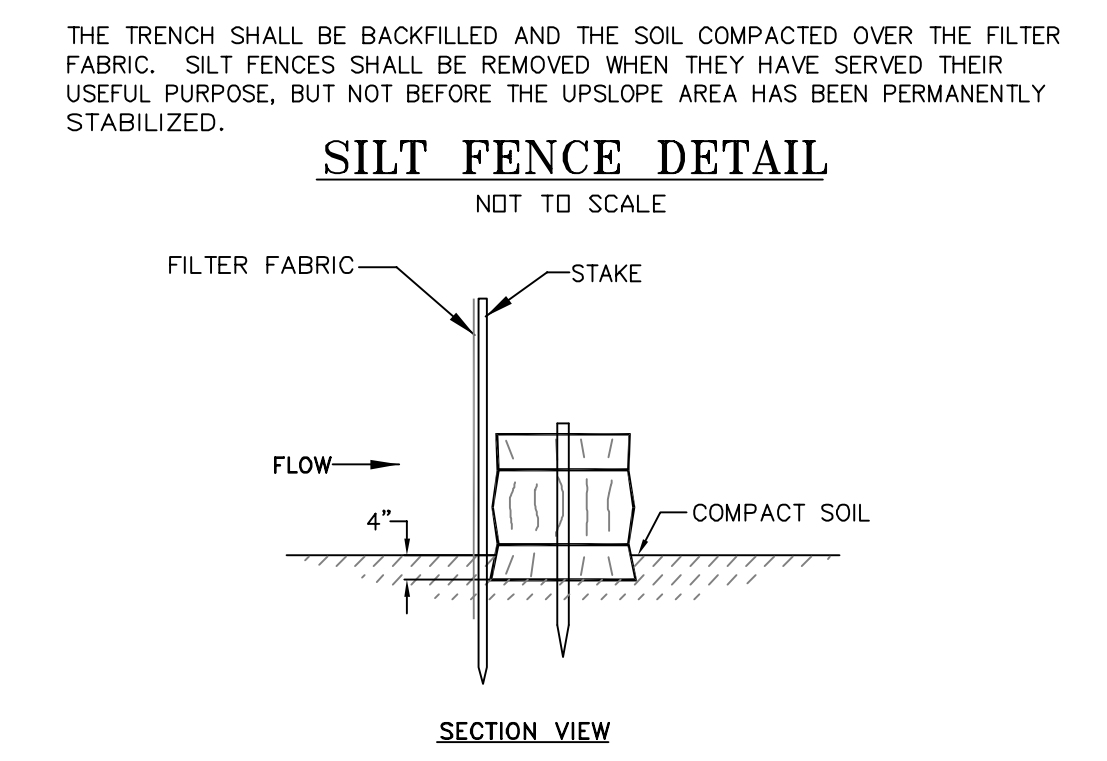
**NOTES:**

SILT FENCE AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.



**NOTES:**

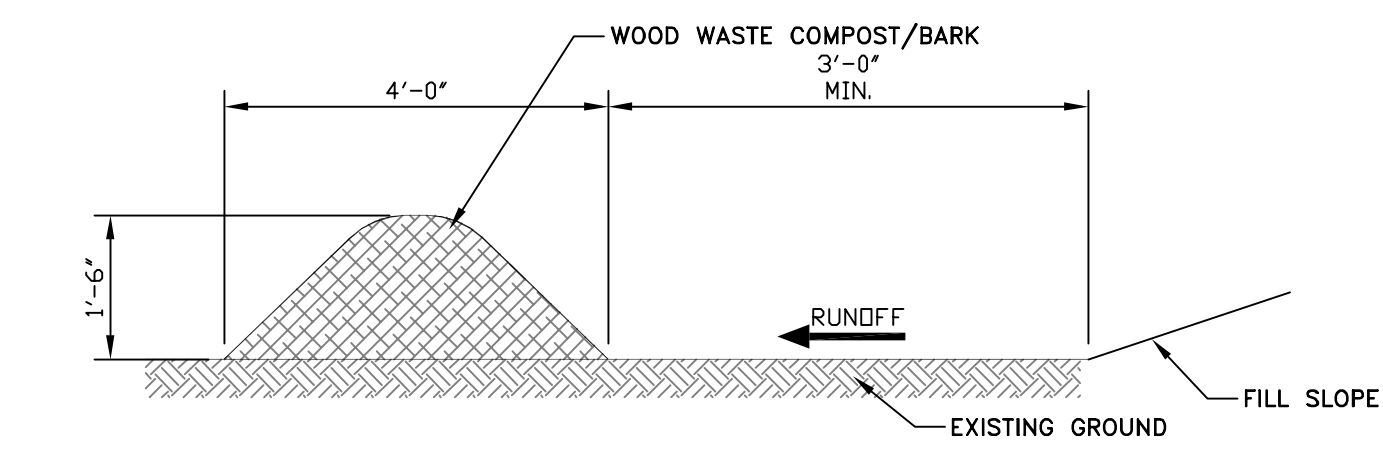
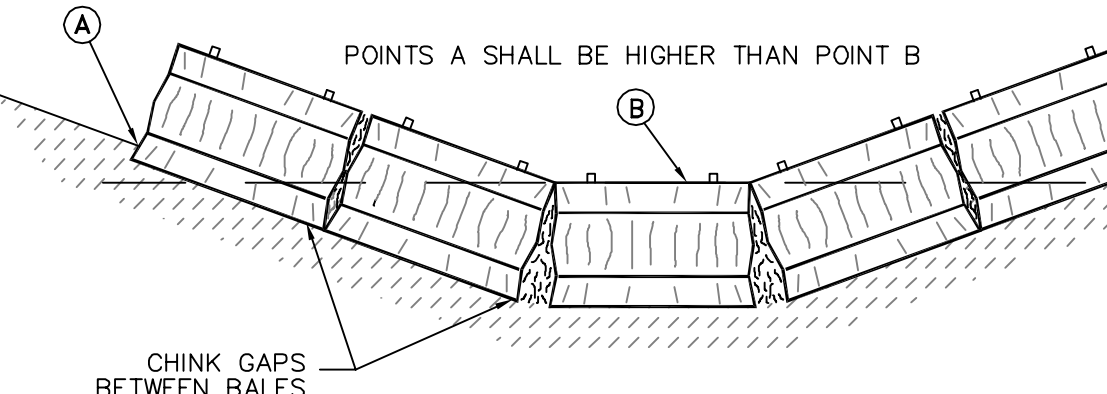
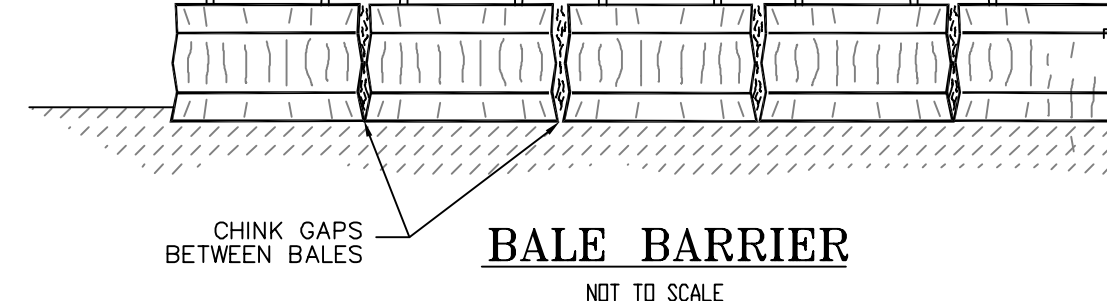
ANY SEDIMENT BARRIERS LOCATED AT LOW POINTS OR SUBJECT TO PONDING ALONG THE FENCE SHALL BE REINFORCED AS SHOWN ABOVE WITH A COMBINATION OF HAYBALES & SILT FENCE. THE CONTRACTOR SHALL REMOVE SEDIMENT TRAPPED AT THESE LOW POINTS AFTER EVERY STORM EVENT.

**Maintenance:**

- THE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. THEY MUST BE REMOVED WHEN THE BARRIER IS REMOVED.

**NOTES:**

- BALES ARE HAY OR STRAW, DIMENSIONS: 14" x 18" x 30", WIRE OR NYLON, PLACED IN DRAINAGE AREAS, UPON THE CONTOUR OF THE GROUND. BALES ARE TO BE PLACED IN A ROW, WITH ENDS TIGHTLY SET AGAINST THE ADJACENT BALE.
- EACH BALE IS TO BE EMBEDDED IN THE SOIL A MINIMUM OF 4" AND ANCHORED IN PLACE BY STAKES DRIVEN THRU THE BALES INTO THE GROUND AT LEAST 18". THE STAKES ARE TO BE DRIVEN IN SUCH A MANNER AS TO FORCE THE ENDS OF THE BALES TOGETHER. STAKES MAY BE REBAR STEEL PICKETS, 2" x 2" SOFTWOOD, OR 1" x 1" HARDWOOD.



**WOOD WASTE COMPOST/BARK FILTER BERMS**

THE FILTER BERM SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER-FLUME LOG HANDLING SYSTEMS. COMPOSTED MIXES CAN BE USED UPON APPROVAL OF THE OFFICE OF ENVIRONMENTAL SERVICES LANDSCAPE UNIT.

THE MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:

- MOISTURE CONTENT - 30-60%
- pH - 5.0-8.0
- SCREEN SIZE - 100% LESS THAN 3", MAXIMUM 70% LESS THAN 1"
- NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION
- NO STONES LARGER THAN 2" IN DIAMETER

THE COMPOSTED BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.

**NOTE:**

WOOD WASTE COMPOST/BARK FILTER BERMS MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE WOOD WASTE COMPOST/BARK BERM BY LARGER SEDIMENT PARTICLES. (SILT FENCE PLACED TO FILTER RUNOFF BEFORE WOOD WASTE COMPOST/BARK)

**WOOD WASTE COMPOST/BARK FILTER BERM ALTERNATIVE**

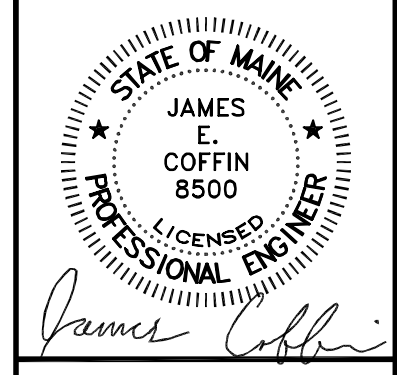
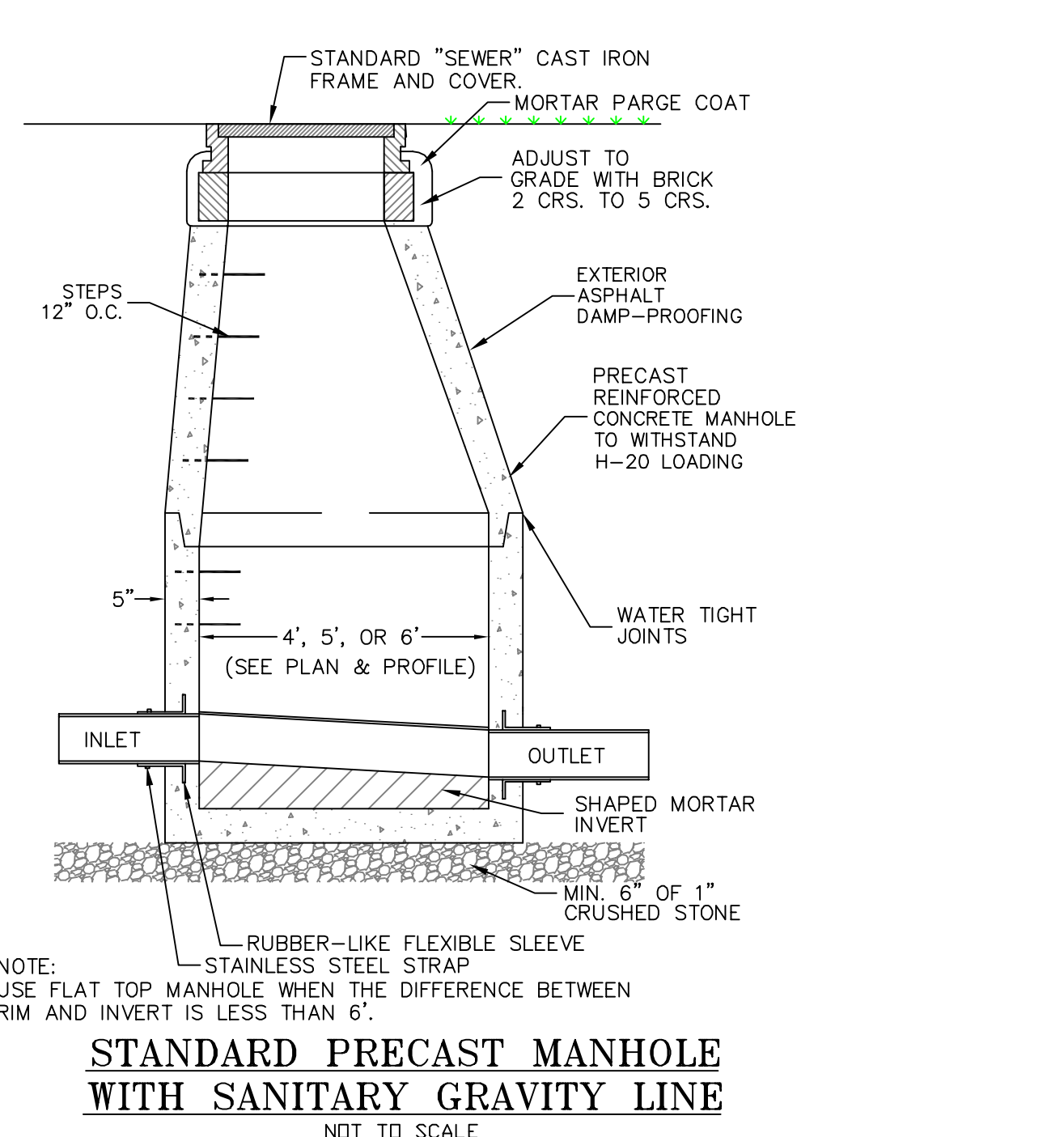
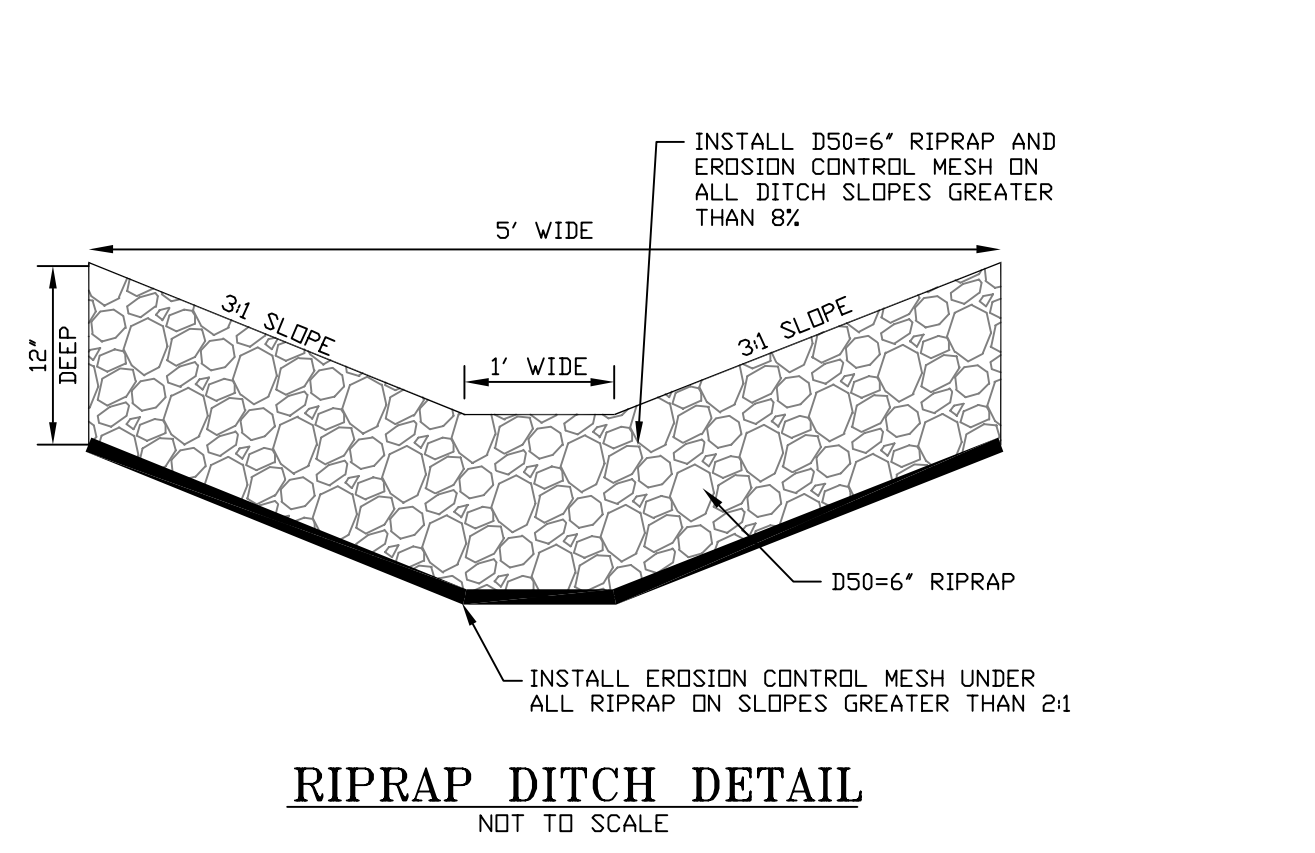
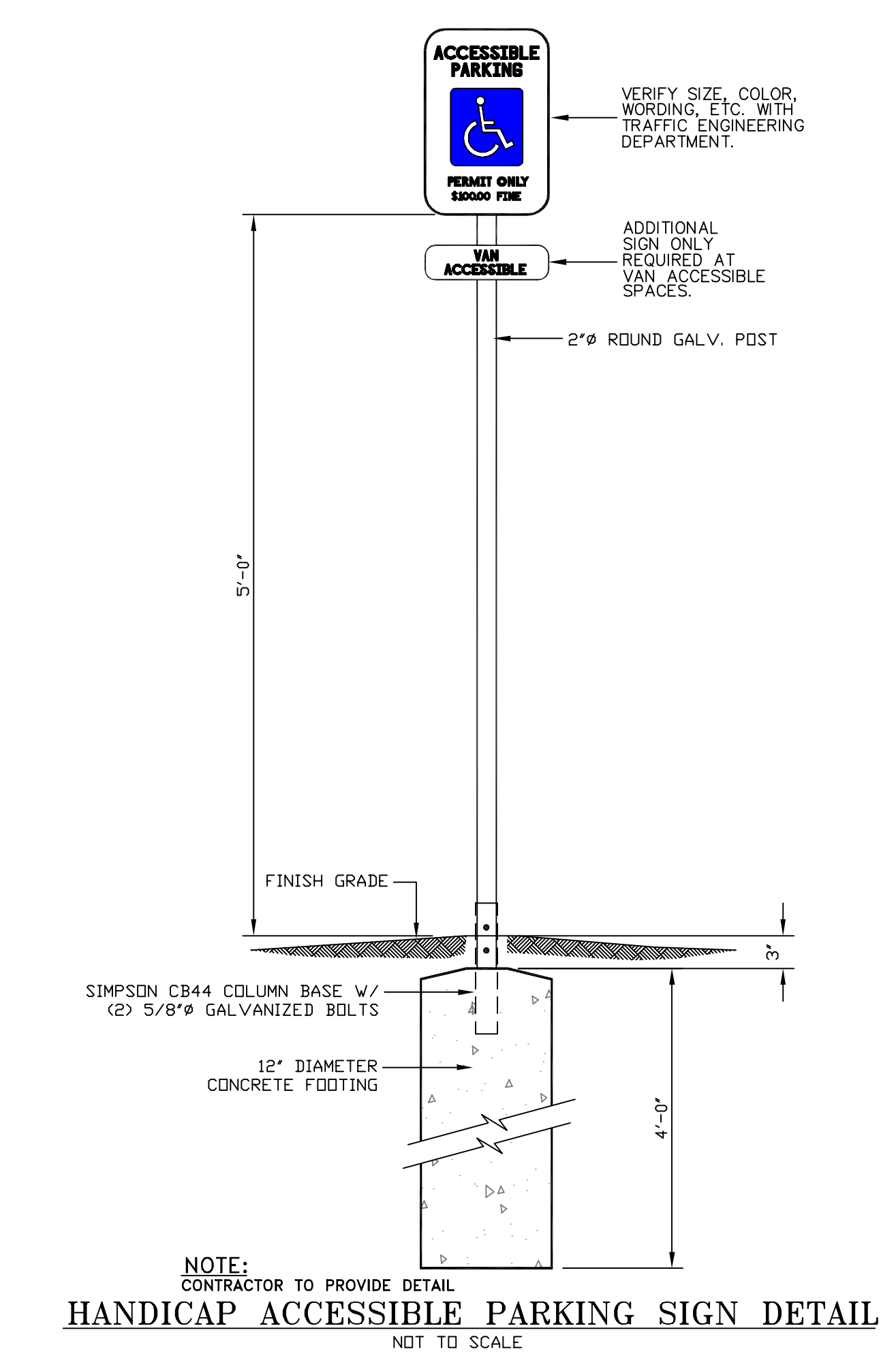
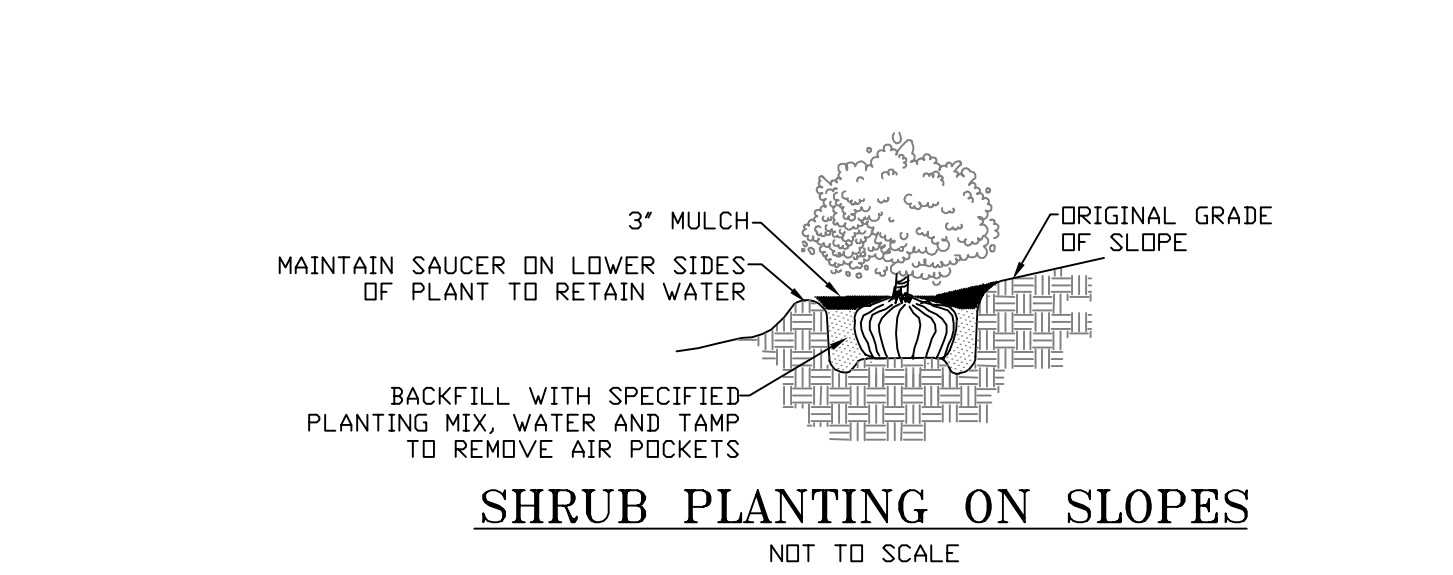
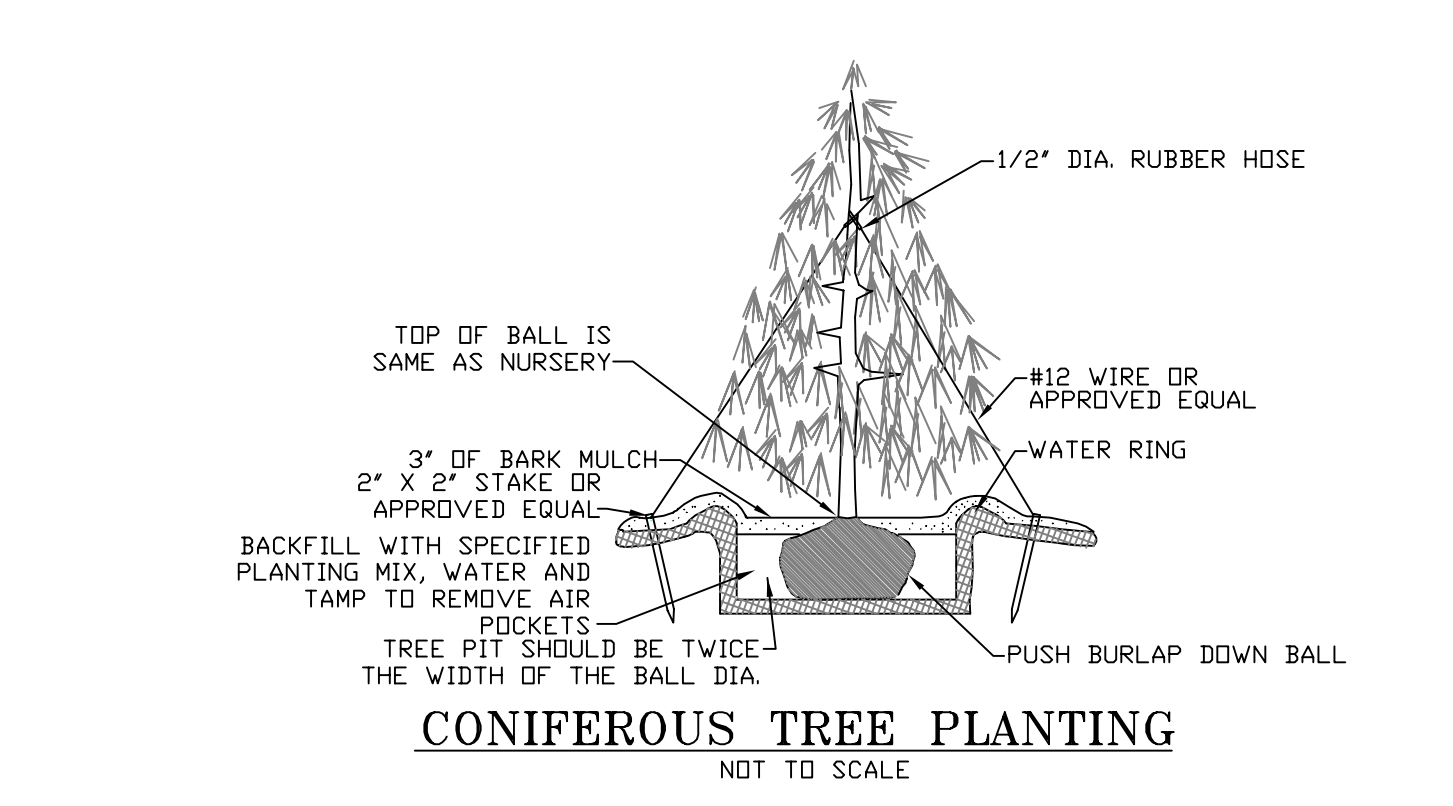
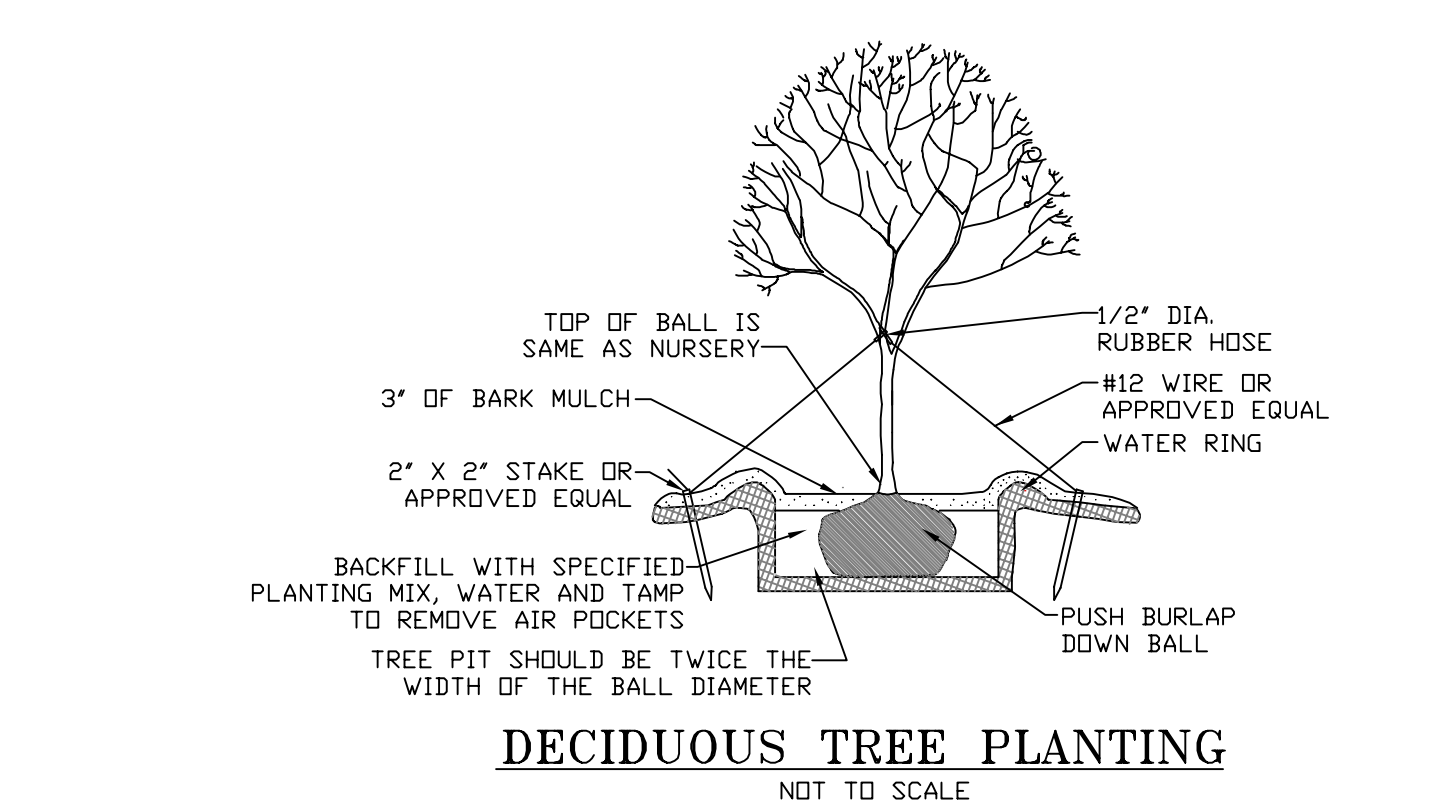
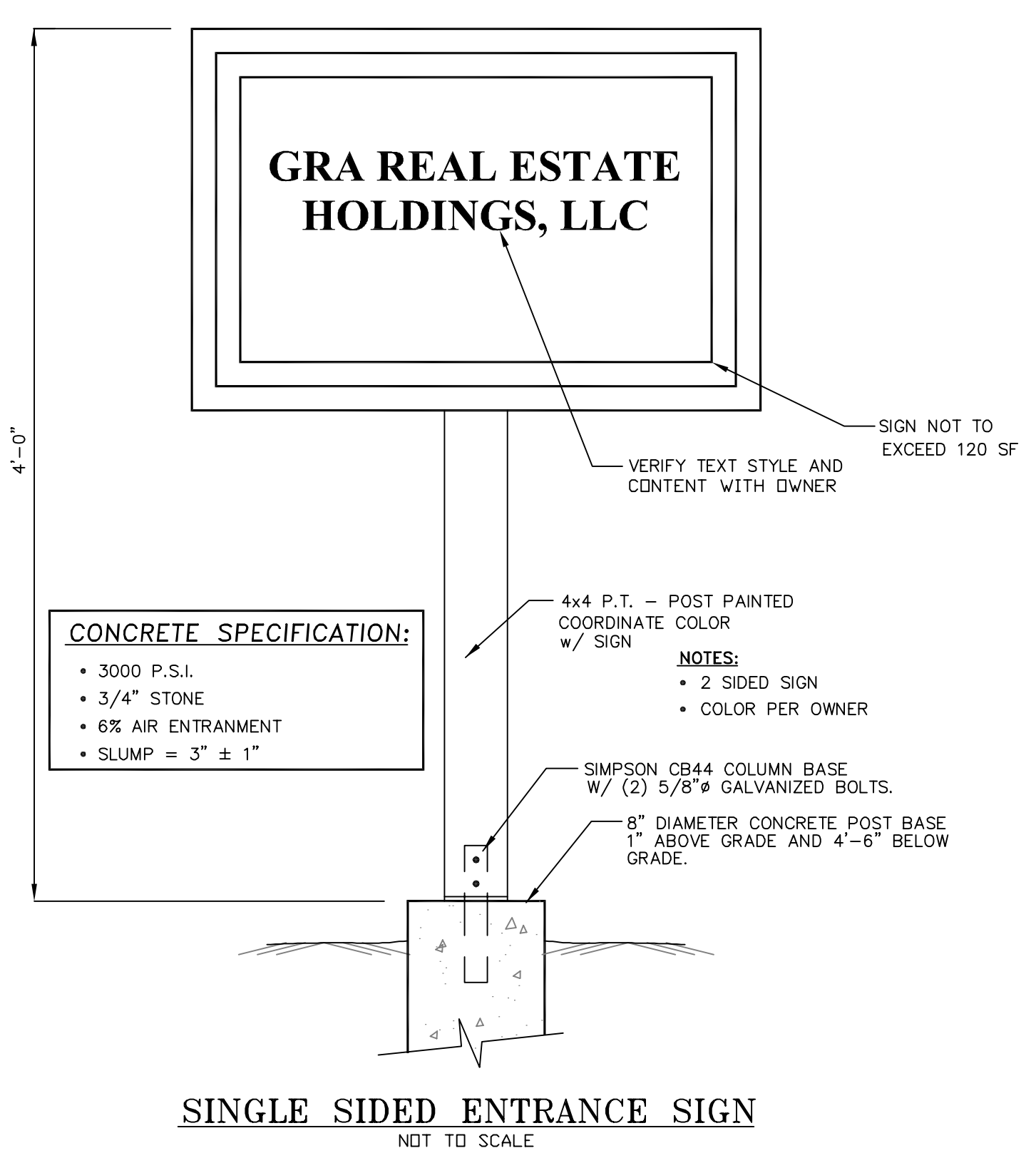
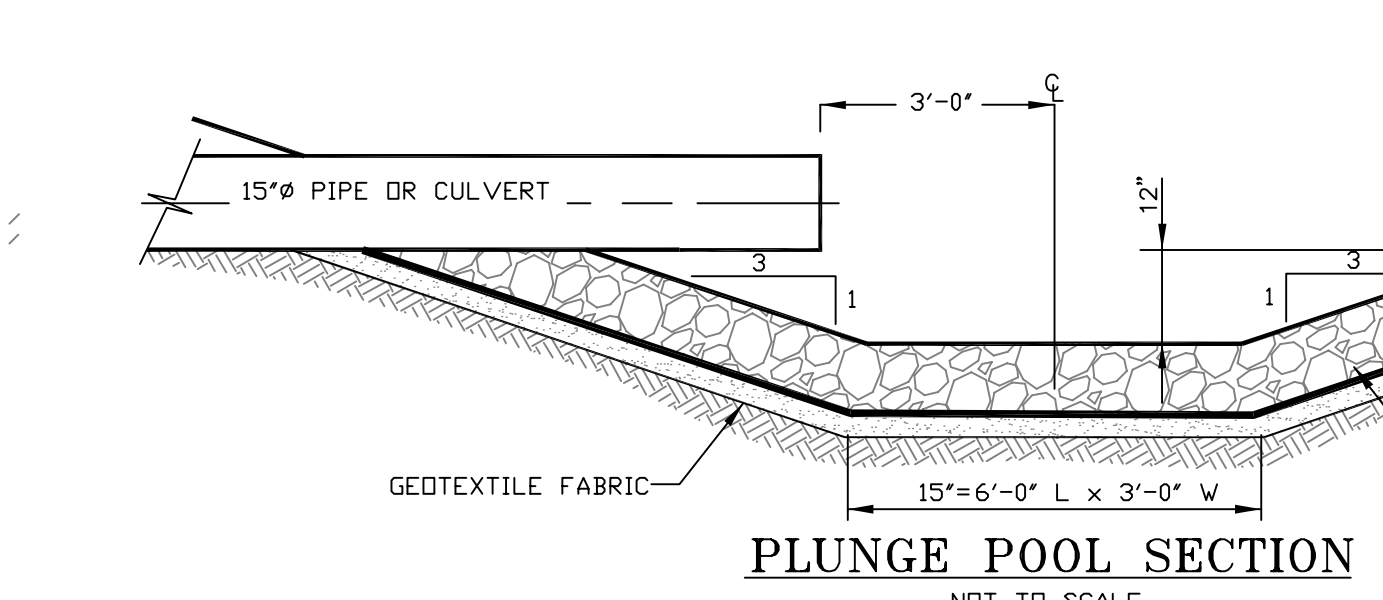
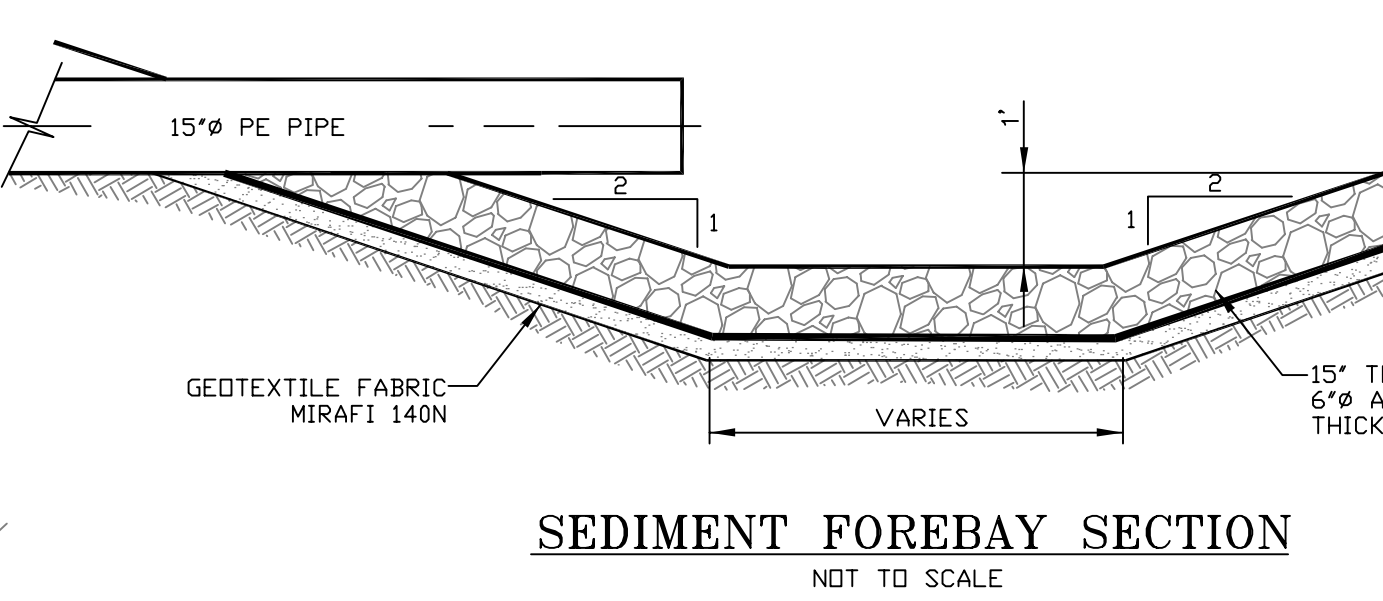
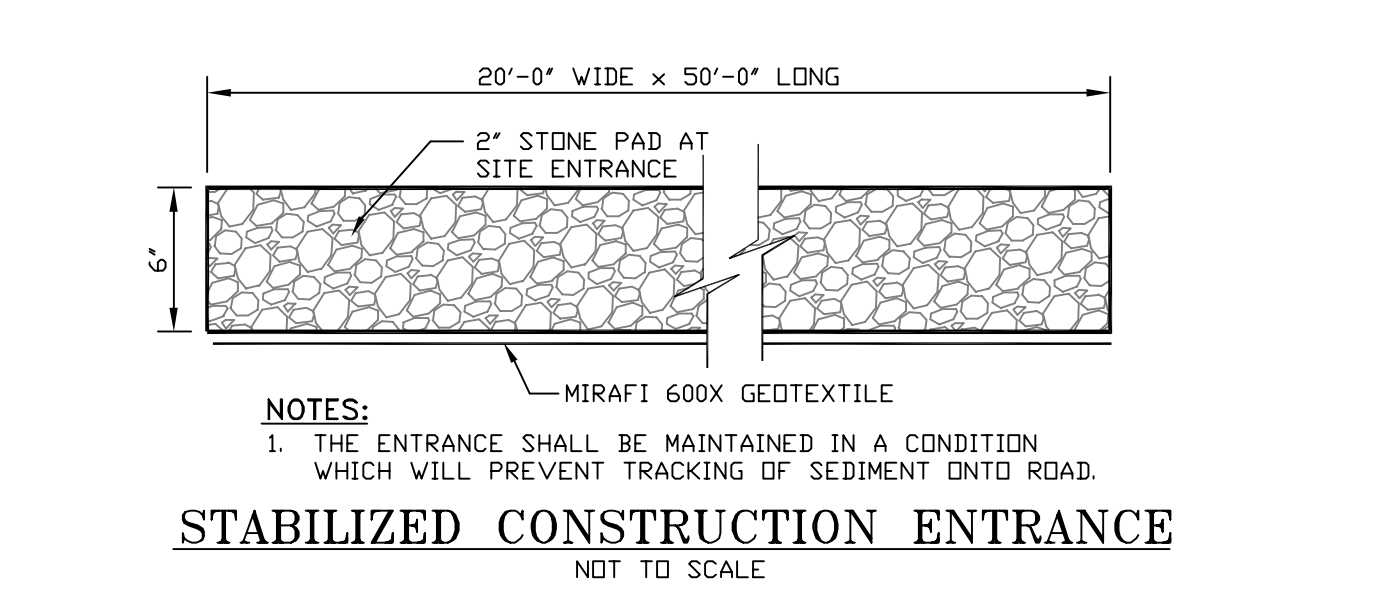
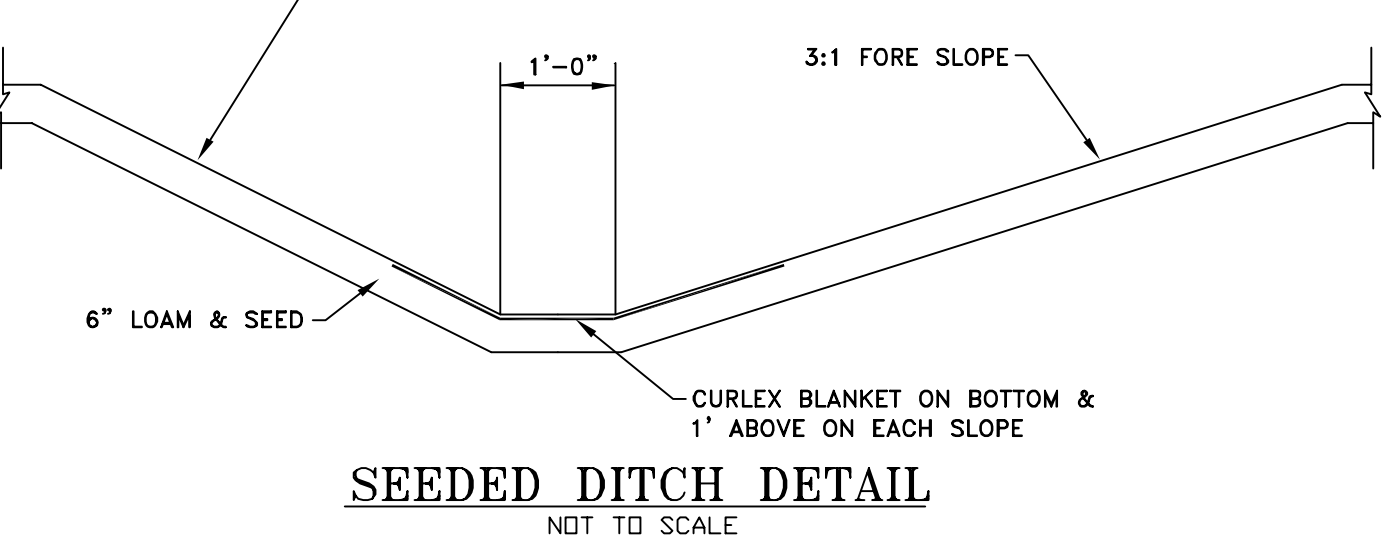
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**SPECIFICATIONS**

UPON FINAL GRADING, THE DISTURBED AREAS SHALL BE IMMEDIATELY SEEDED TO PERMANENT VEGETATION AND MULCHED. THE DITCH WILL NOT BE UTILIZED AS AN OUTLET UNTIL A DENSE, VIGOROUS VEGETATIVE COVER HAS BEEN OBTAINED. NETTING OR EXCELSIOR MESH SHALL BE INSTALLED AT THE BASE OF THE VEGETATIVE CHANNEL.

**MAINTENANCE**

MOW WATERWAY AT LEAST ONCE ANNUALLY. WHEN PRACTICAL, DELAY MOWING UNTIL AFTER JULY 15TH TO ACCOMMODATE GROUND NESTING WILDLIFE. MOW TO A HEIGHT OF 4 TO 8 INCHES TO HELP MAINTAIN GOOD SURFACE PROTECTION. EXCESSIVE GROWTH SHALL BE REMOVED. DO NOT MOW LATER THAN 30 DAYS PRIOR TO THE FIRST KILLING FROST.



**JAMES E. COFFIN**

REGISTERED PROFESSIONAL ENGINEER

STATE OF MAINE

8500

NO.	REVISIONS	DATE

**DETAILS II**

CLIENT/PROJECT: **GRA REAL ESTATE HOLDINGS, LLC LOT #21**

LOCATION: **TROIANO WAY**

TOWN: **GARDNER** COUNTY: **KENNEBEC** STATE: **MAINE**

SCALE: **AS SHOWN**

DATE: **AUGUST 17, 2023**

DRAWN BY: **TCH** CHECKED BY: **JEC**

PROJ. NO. **2023-059**

**C-4**

**GENERAL NOTES**

**1. AGGREGATE FOR GRAVEL BASE**

AGGREGATE FOR GRAVEL BASE SHALL BE SCREENED OR CRUSHED GRAVEL OF HARD DURABLE PARTICLES FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES. THE GRADATION OF THE PART THAT PASSES A 3 INCH SIEVE SHALL MEET THE GRADING REQUIREMENTS OF THE FOLLOWING TABLE:

SIEVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING SQUARE MESH SIEVES		
	TYPE "A" AGGREGATE	TYPE "D" AGGREGATE	STRUCTURAL FILL
2" / 3" / 4"	100 (2")	100 (3")	100 (4")
1/2 INCH	45-70	35-80	90-100
1/4 INCH	30-55	25-65	25-90
No. 40	0-20	0-30	0-30
No. 200	0-6	0-7	0-5

TYPE "A" AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 2 INCH SQUARE MESH SIEVE.

TYPE "D" AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 6 INCH SQUARE MESH SIEVE.

EACH LAYER AS APPLIED SHALL BE ROLLED WITH A 20 TON ROLLER. THE MATERIAL AS SPREAD SHALL BE WELL MIXED WITH NO POCKETS OF EITHER FINE OR COARSE MATERIAL. OVER SIZED STONES SHALL BE REMOVED FROM THE AGGREGATE.

EACH LAYER OF AGGREGATE SHALL BE PLACED OVER THE FULL WIDTH OF THE SECTION. AGGREGATE BASE AND SUB-BASE COURSES MAY BE PLACED UPON FROZEN SURFACES WHEN SUCH SURFACES HAVE BEEN PROPERLY CONSTRUCTED.

THE SURFACE OF EACH LAYER SHALL BE MAINTAINED DURING COMPACTION OPERATIONS IN SUCH A MANNER THAT A UNIFORM TEXTURE IS PRODUCED AND THE AGGREGATE IS FIRMLY KEYS. THE MOISTURE CONTENT OF THE MATERIAL SHALL BE MAINTAINED AT THE PROPER PERCENT TO ATTAIN THE REQUIRED COMPACTION AND STABILITY. COMPACTION OF EACH LAYER SHALL BE CONTINUED UNTIL DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY" HAS BEEN ACHIEVED FOR THE FULL WIDTH AND DEPTH OF EACH LAYER AS APPLIED.

THE SURFACE TOLERANCE OF EACH BASE COURSE AS APPLIED SHALL BE 3/8 INCHES ABOVE OR BELOW THE REQUIRED TEMPLATE LINES.

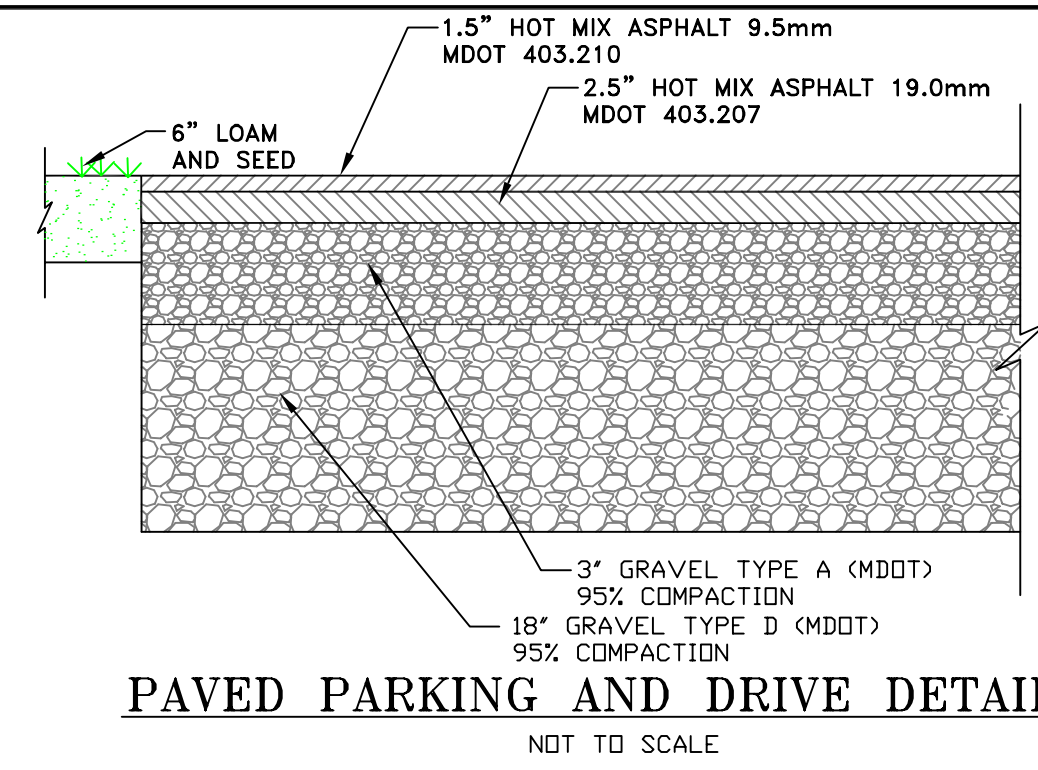
**2. AGGREGATE FOR SUB-BASE**

AGGREGATE FOR SUB-BASE SHALL BE TYPE "D" (MDO). IT SHALL BE FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES.

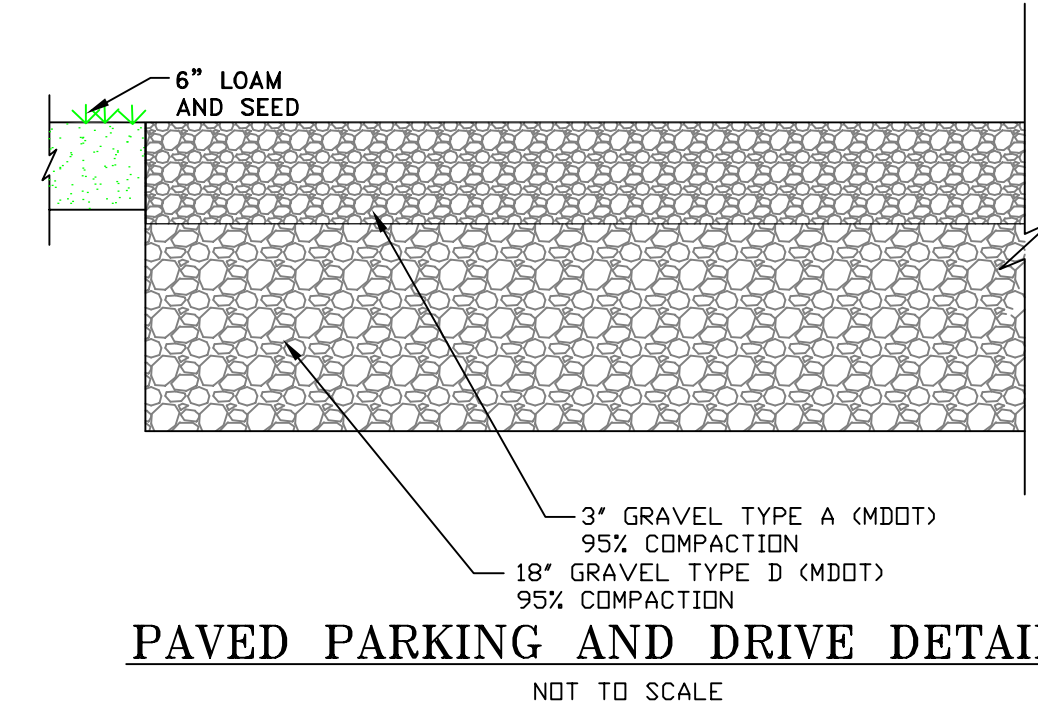
**3. COMMON BORROW**

COMMON BORROW SHALL CONSIST OF EARTH, SUITABLE FOR EMBANKMENT CONSTRUCTION. IT SHALL BE FREE FROM FROZEN MATERIAL, PERISHABLE RUBBISH, PEAT AND OTHER UNSUITABLE MATERIAL. THE MOISTURE CONTENT SHALL BE SUFFICIENT TO PROVIDE THE REQUIRED COMPACTION AND STABLE EMBANKMENT. IN NO CASE SHALL THE MOISTURE CONTENT EXCEED 4 PERCENT ABOVE OPTIMUM.

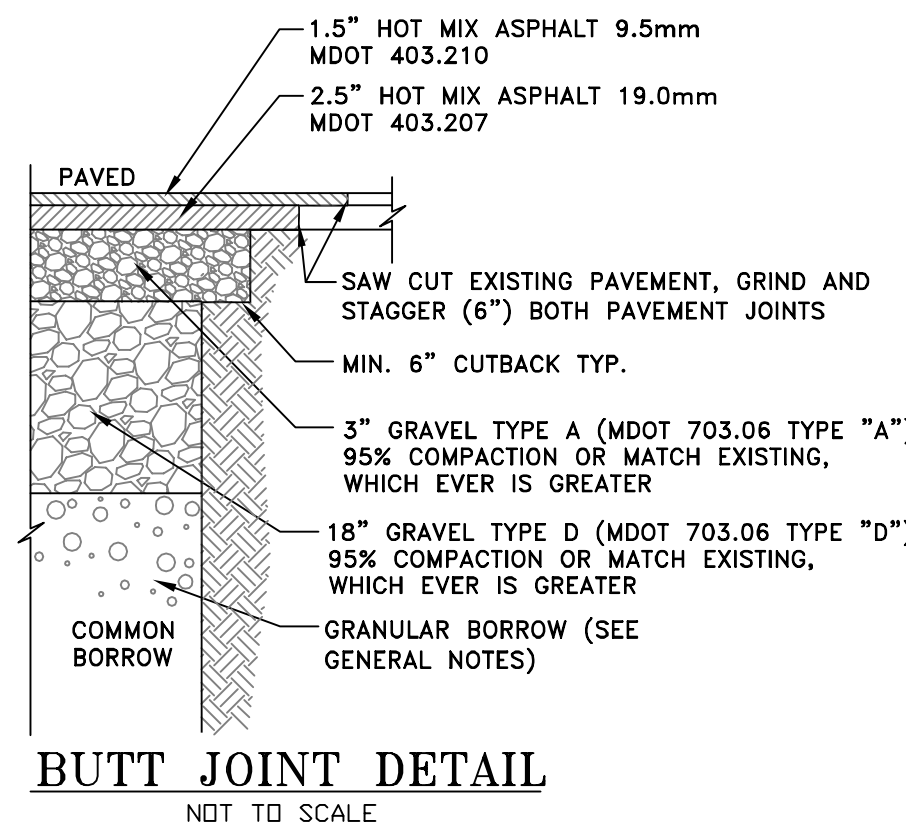
ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAX. DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



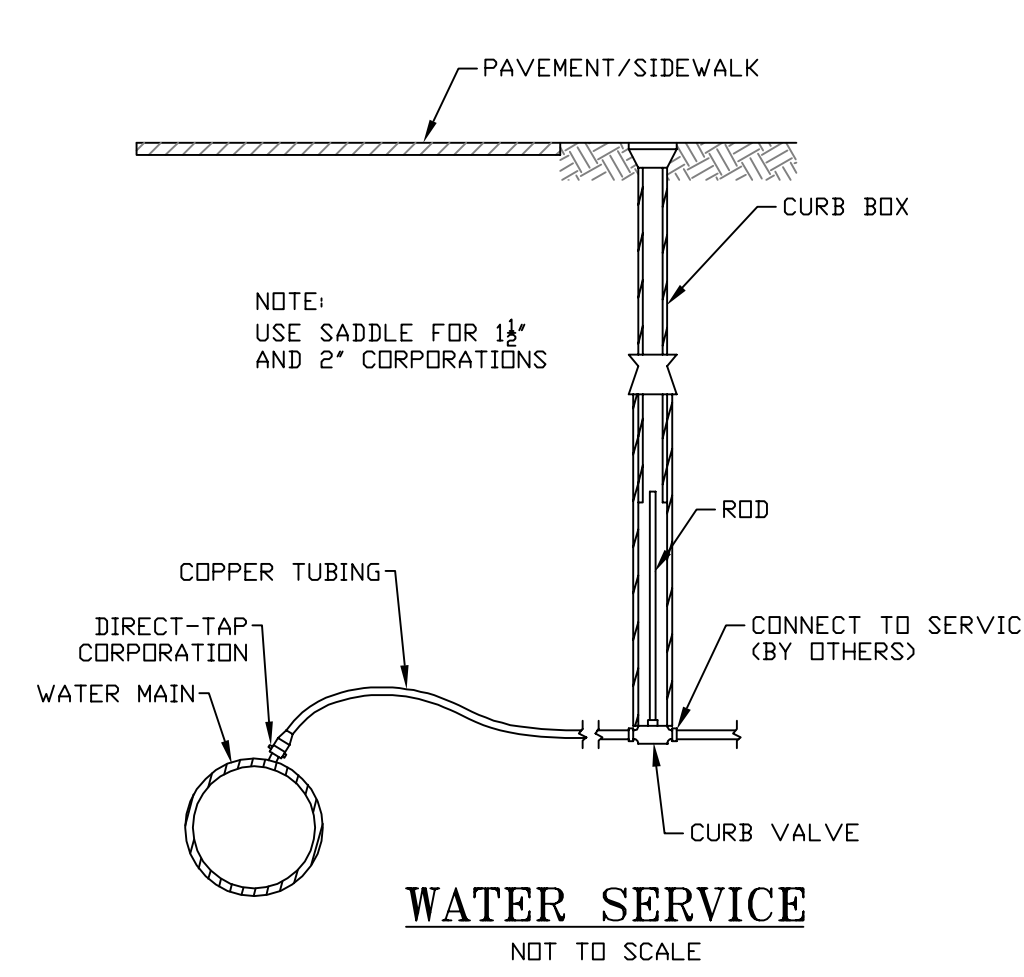
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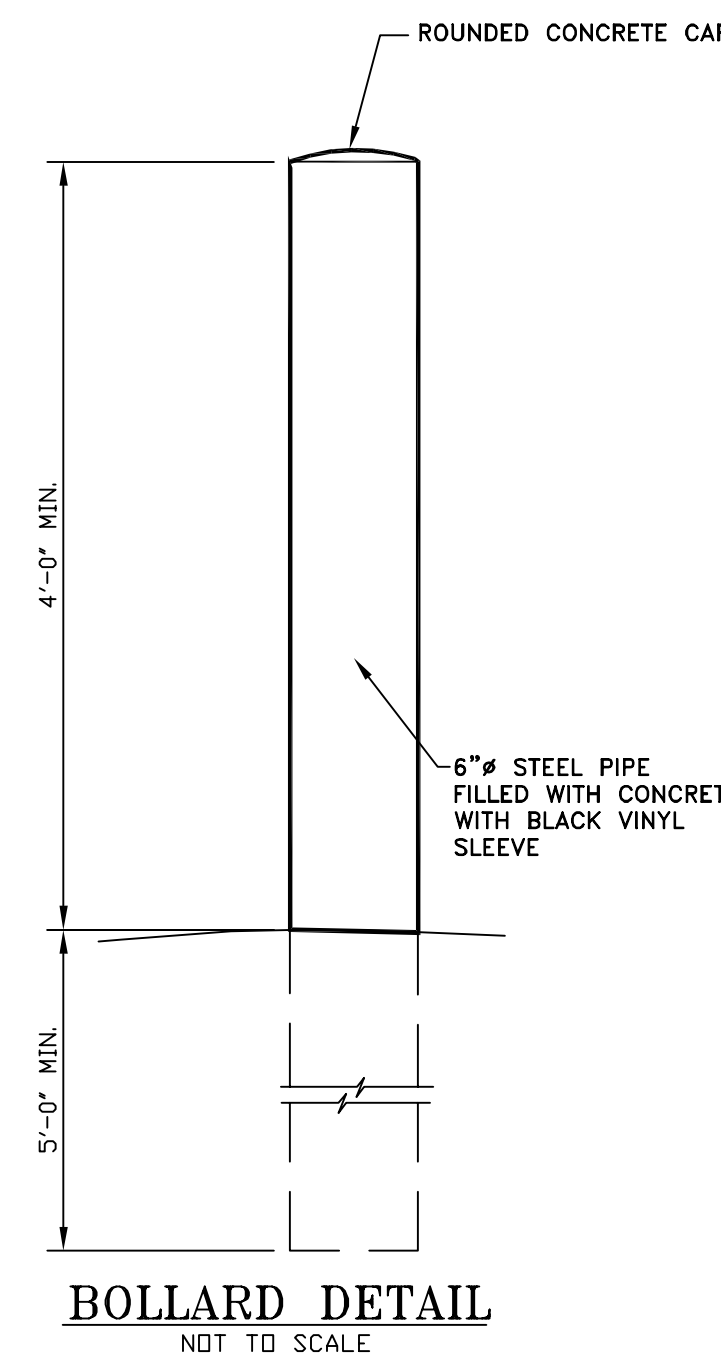
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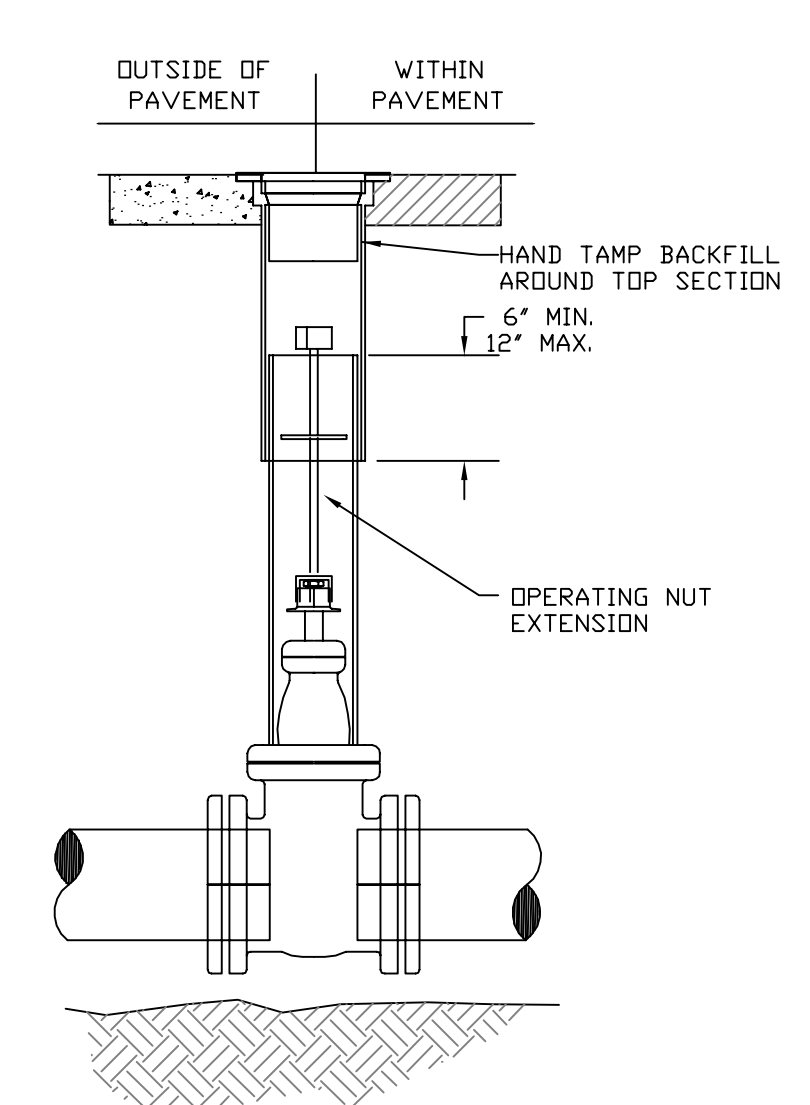
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NOT TO SCALE



**WATER SERVICE**  
NOT TO SCALE



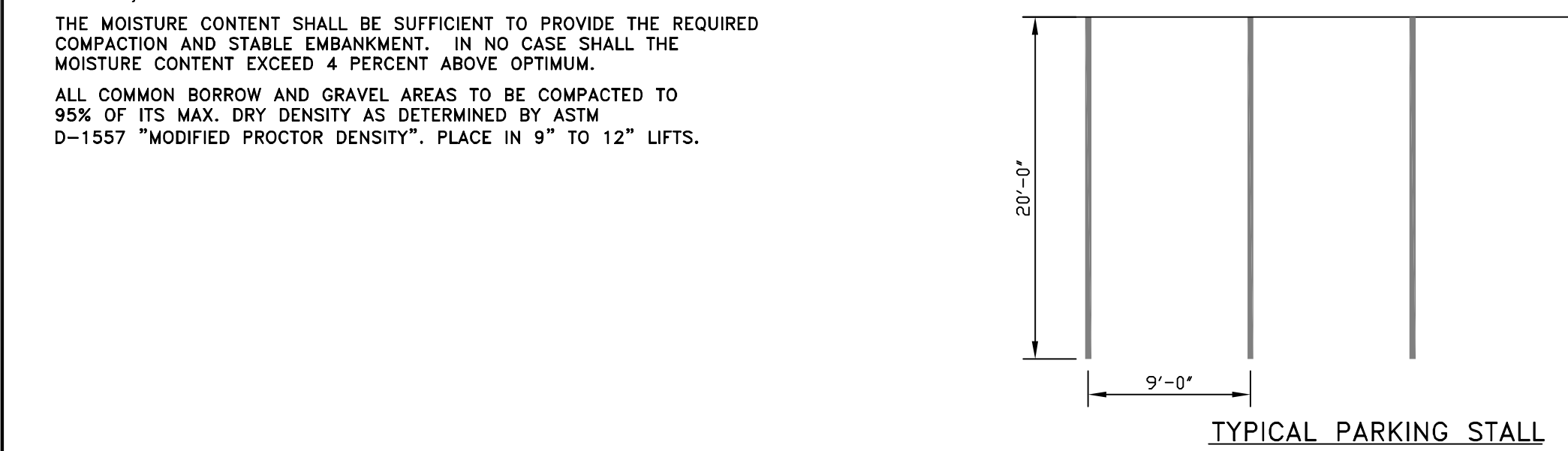
**BOLLARD DETAIL**  
NOT TO SCALE



**NOTES:**

- 1) VALVE BOX NOT TO REST ON OPERATING ASSEMBLY.
- 2) A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE WITH AN OPERATING NUT LOCATED IN EXCESS OF 4 FEET BELOW THE TOP OF THE VALVE BOX. THIS EXTENSION SHALL BE SUFFICIENT LENGTH TO ENSURE THAT ITS TOP IS WITHIN 4 FEET OF THE VALVE BOX LID.

**GATE VALVE DETAIL**  
NOT TO SCALE

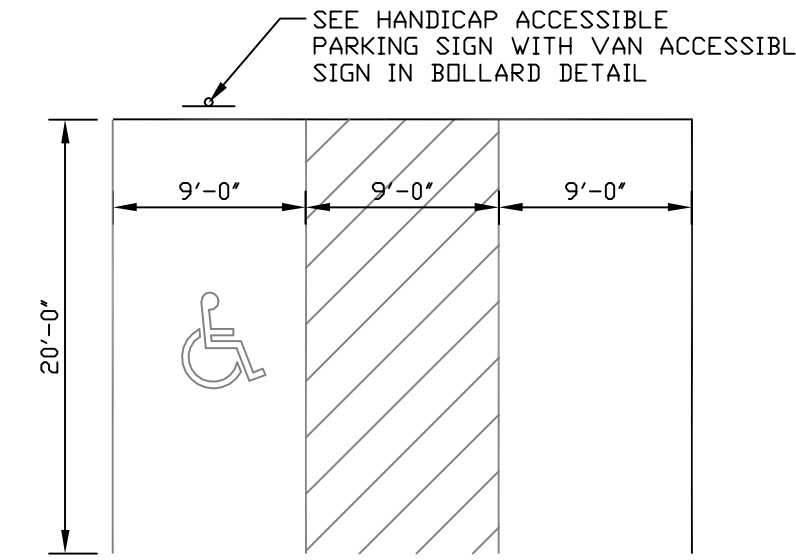


**TYPICAL PARKING STALL**

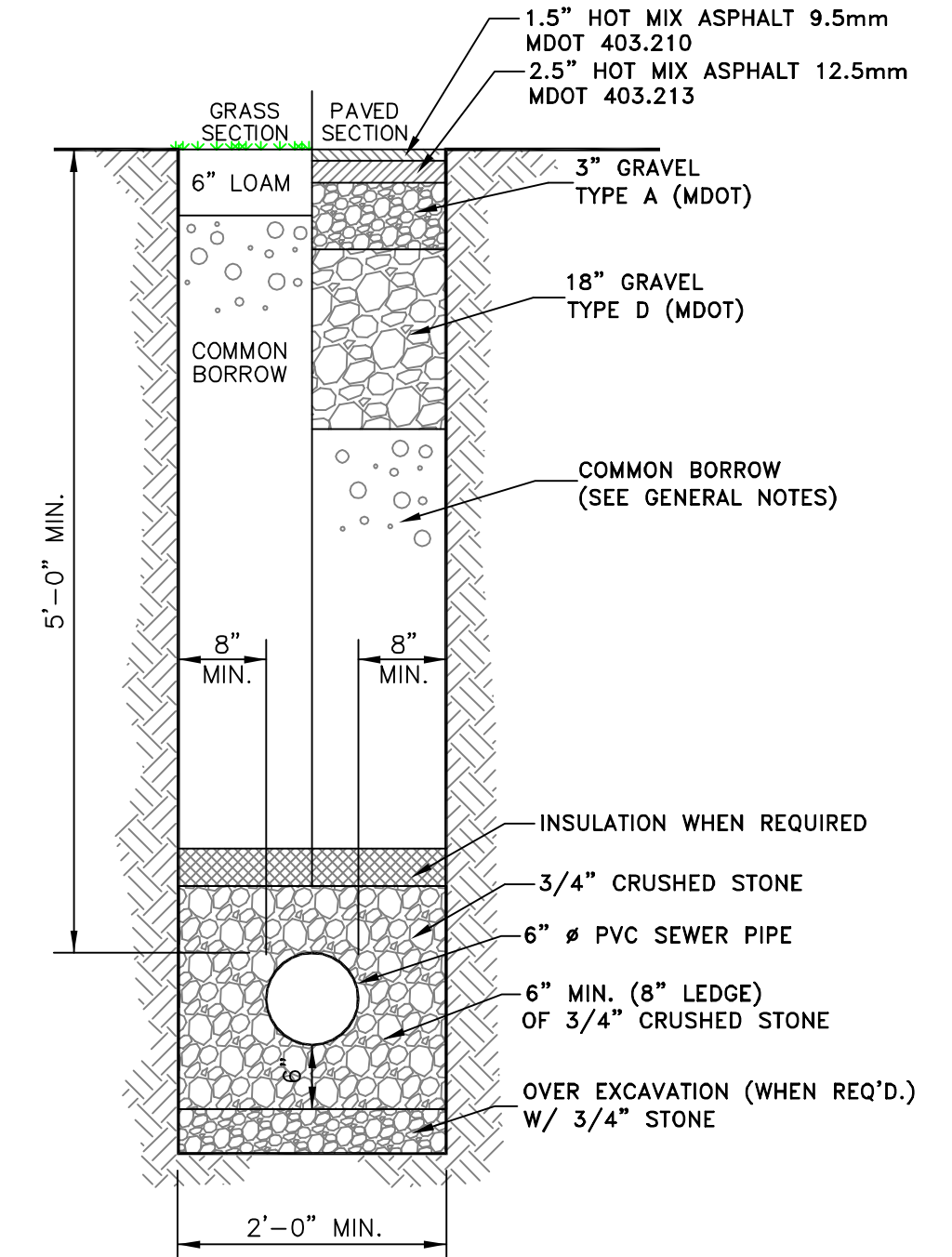
**SPECIFICATIONS**

PAVEMENT MARKING PAINT FOR FINAL AND TEMPORARY PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF AASHTO M248, EITHER TYPE N (REGULAR TRAFFIC PAINT) OR TYPE F (FAST DRY TRAFFIC PAINT) MAY BE USED. ALL PAVEMENT LINES AND MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. IMMEDIATELY BEFORE APPLYING THE PAVEMENT PAINT TO THE PAVEMENT OR CURB, THE SURFACE SHALL BE DRY AND ENTIRELY FREE FROM DIRT, GREASE, OIL OR OTHER FOREIGN MATTER. ALL PAVEMENT MARKING LINES SHALL BE 4" SOLID WHITE.

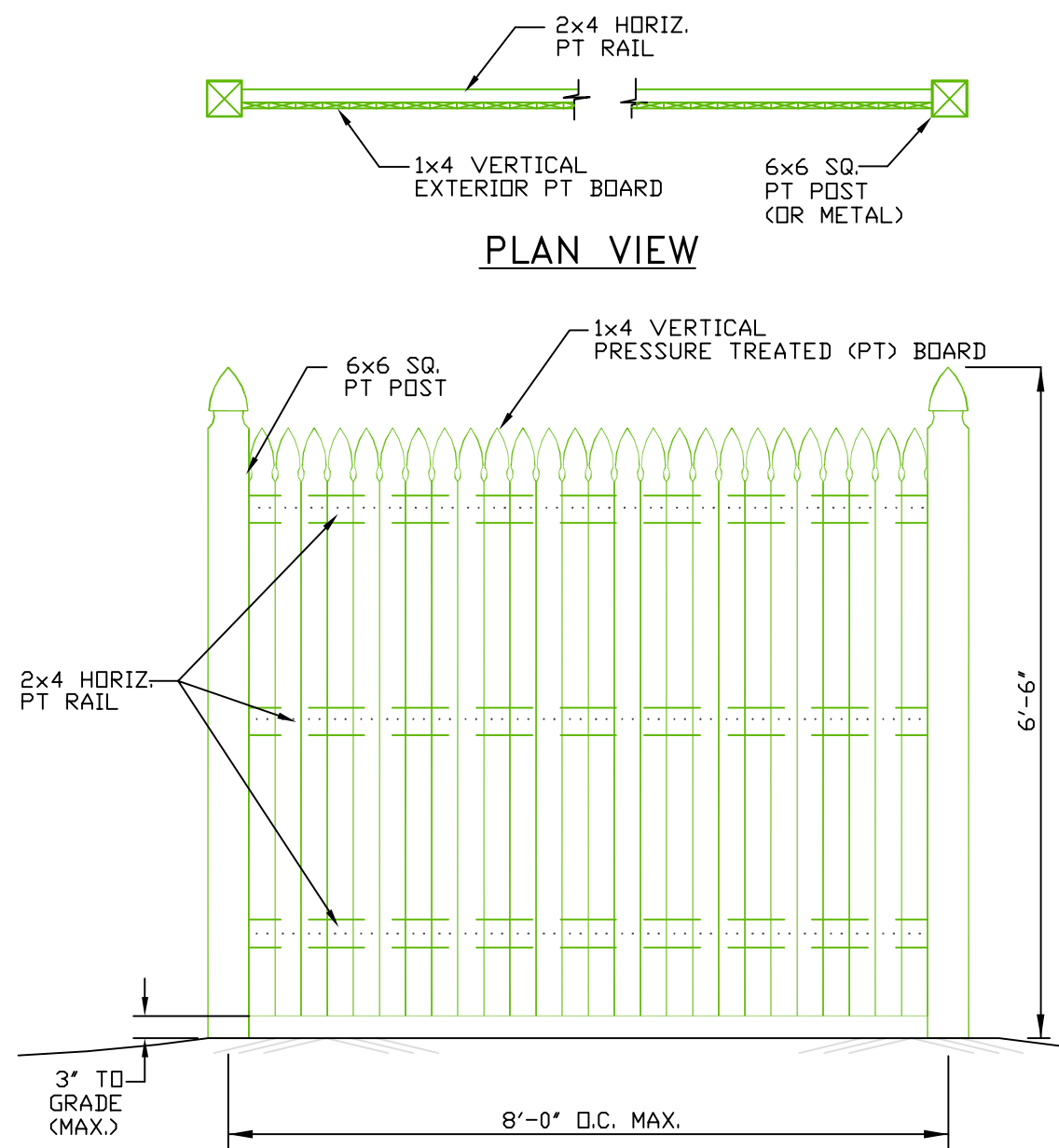
**PAVEMENT MARKING DETAIL & SPECIFICATION**  
NOT TO SCALE



**HANDICAP PARKING DETAIL**  
NOT TO SCALE

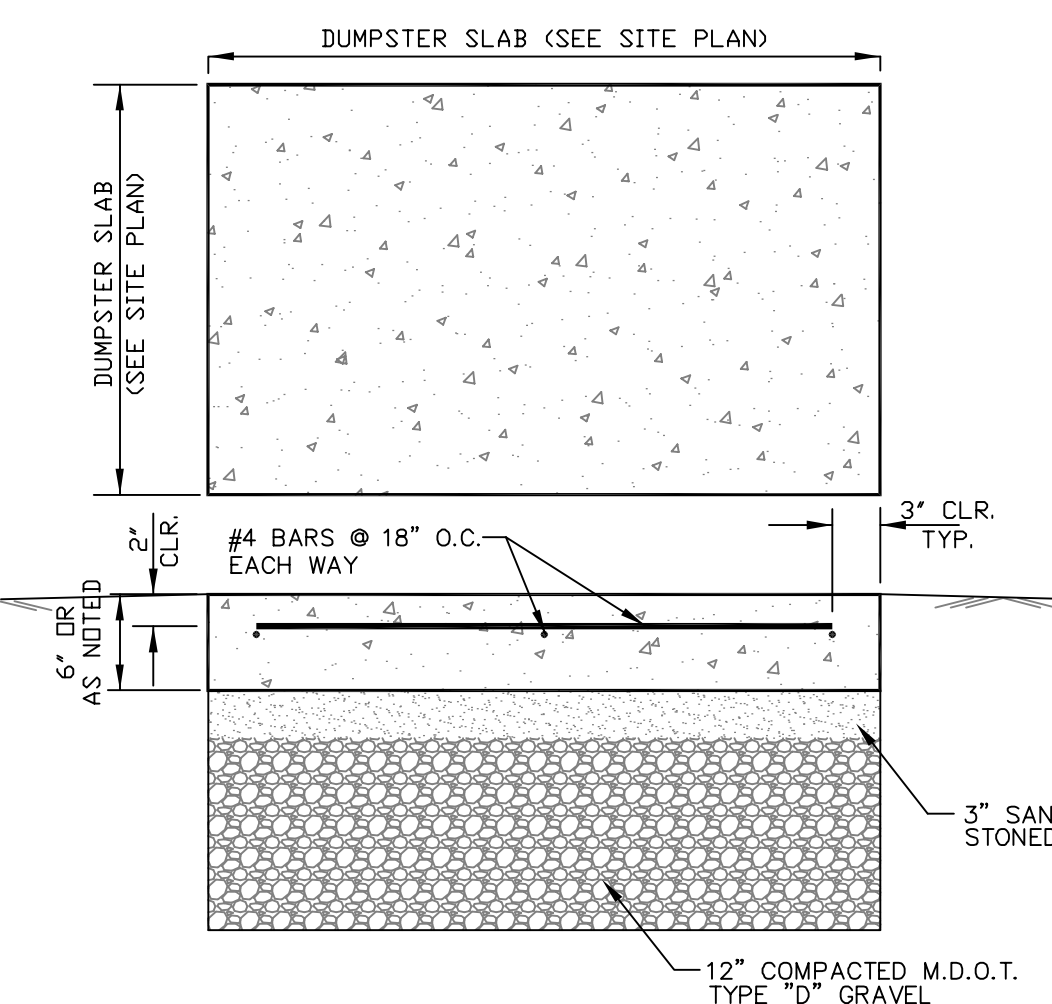


**TYPICAL SANITARY TRENCH SECTION**  
NOT TO SCALE



- NOTES:**
1. ALL POSTS TO BE SET 3'-6" INTO GROUND AND COMPACTED ALL AROUND.
  2. ANY POST SET LESS THAN 3'-0" SHALL BE SET ON 10" DIAM. CONCRETE FILLED SONDUTBE. USE SIMPSON STRING-TIE POST BASE, AND SET BELOW GRADE TO HIDE CONCRETE & CONNECTOR.
  3. POST SET ON LEDGE SHALL BE DRILLED AND PINNED. ANCHERING METHOD TO BE APPROVED BY SITE ENGINEER.
  4. 2x4 PT RAILS SHALL HAVE DOWELED ENDS FOR POST CONNECTION.
  5. ALL GATES TO MATCH FENCE.
  6. OWNER TO SPECIFY PAINTING.

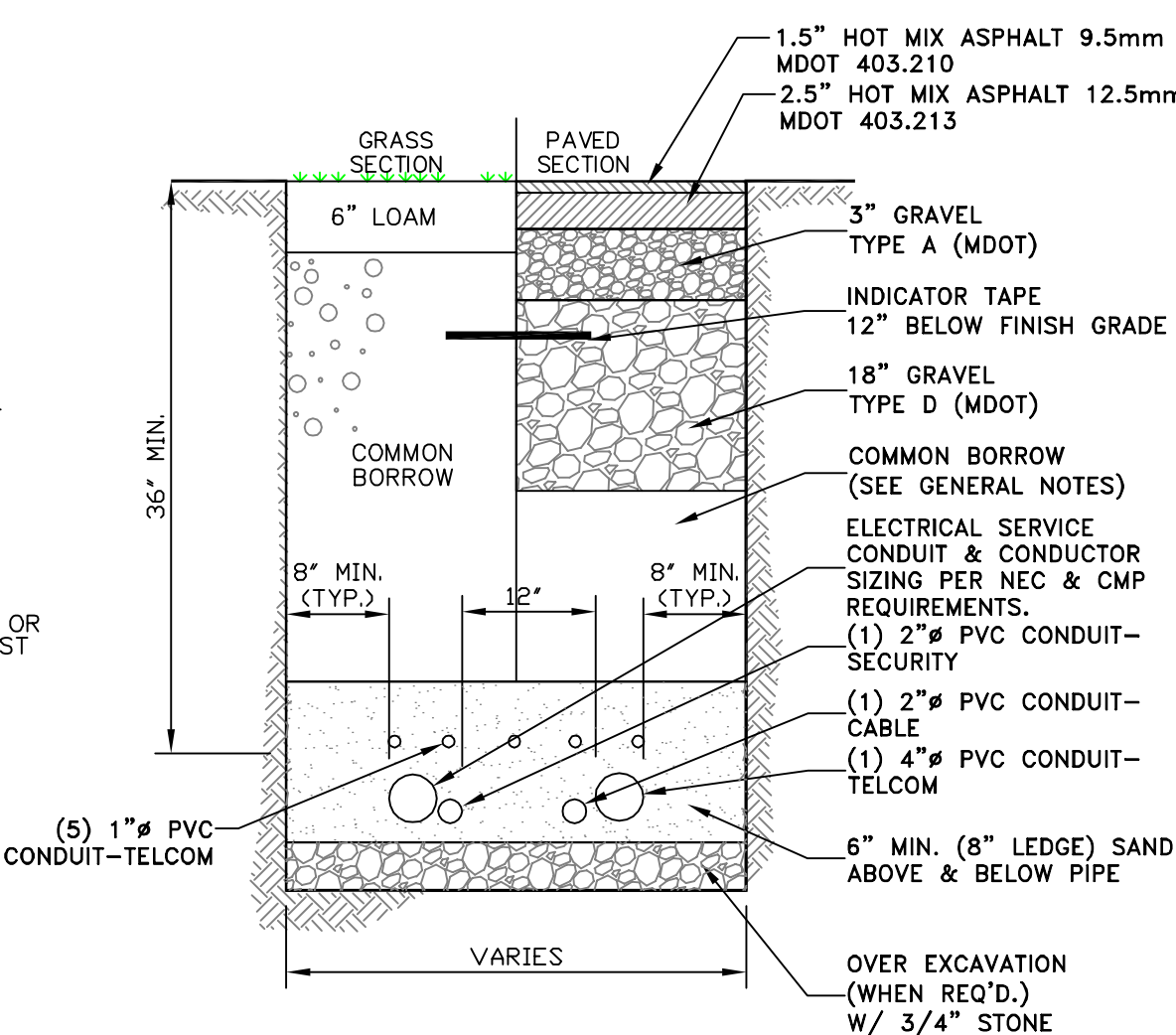
**WOODEN STOCKADE FENCE DETAIL**  
NOT TO SCALE



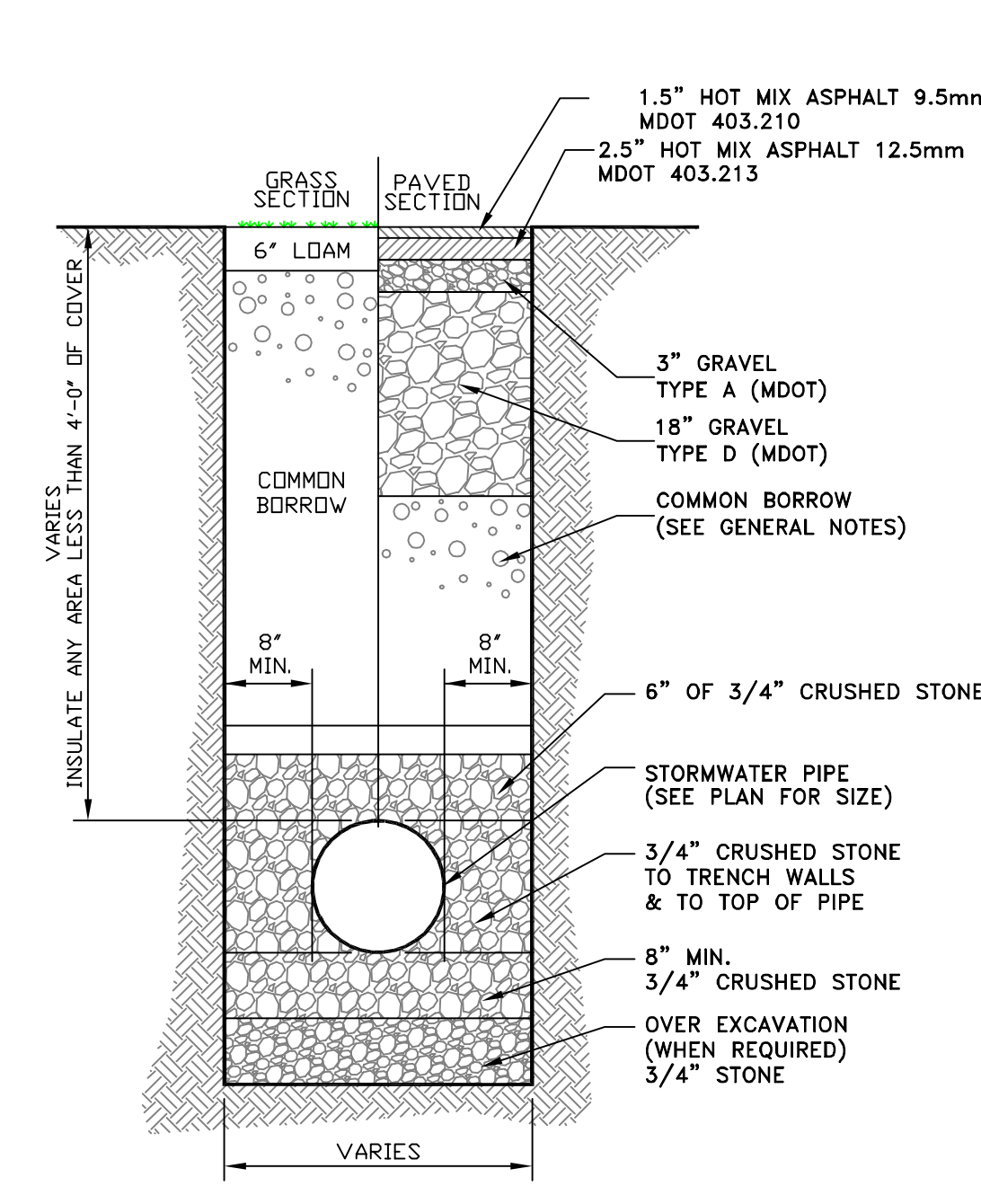
- CONCRETE SPECIFICATION:**
- 4000 P.S.I.
  - 3/4" STONE
  - 6% AIR ENTRAINMENT
  - SLUMP = 3" ± 1"
  - FINE BROOM FINISH

**TYPICAL DUMPSTER SLAB DETAIL**  
NOT TO SCALE

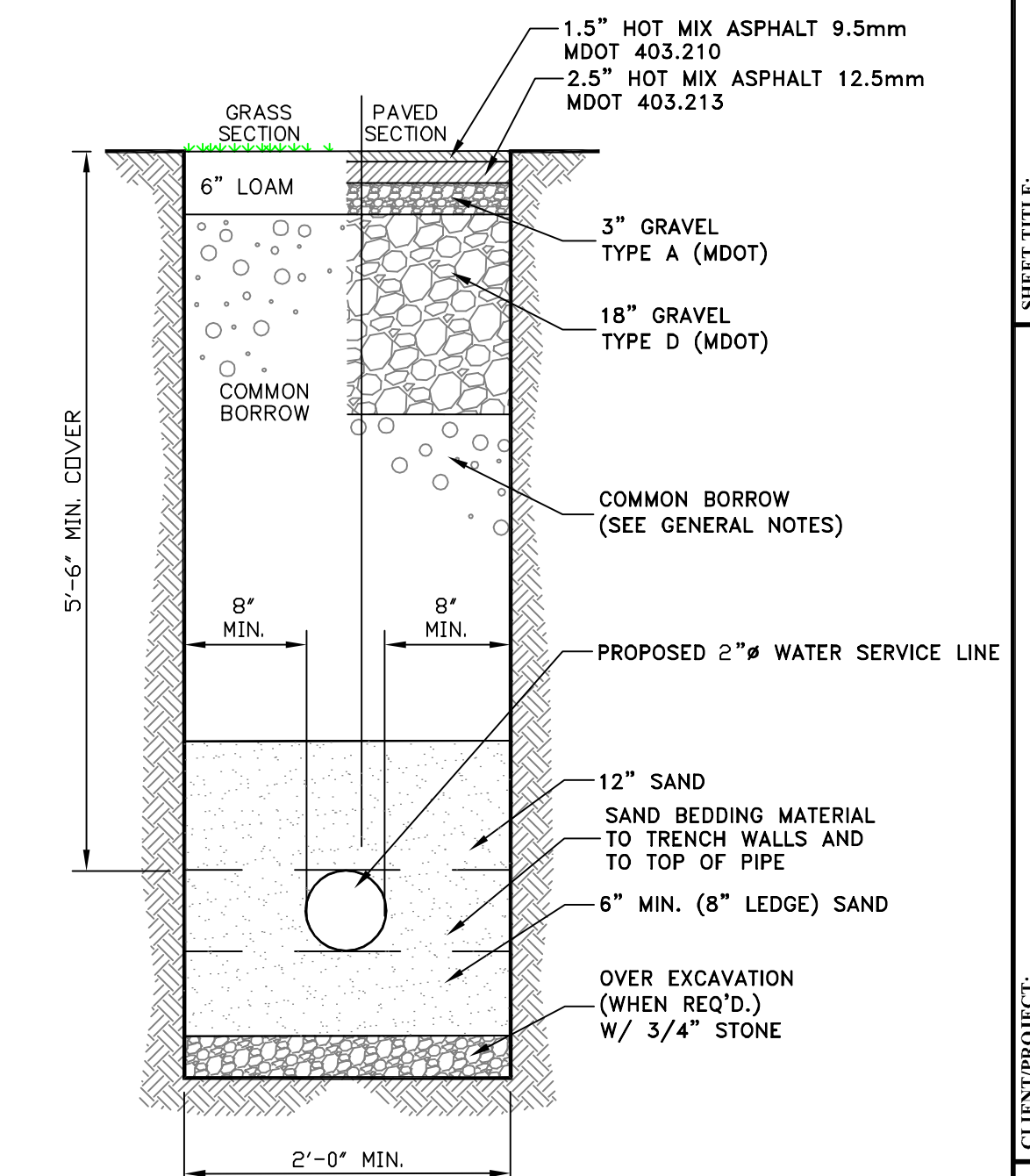
- TRENCH NOTES:**
1. CONTRACTOR SHALL COMPLY WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION REGULATIONS PERTAINING TO THE EXCAVATION OF ALL TRENCHES. CONTRACTOR SHALL ALLOW FOR PAYMENT OF ADDITIONAL EXCAVATION, TRENCH BOXES AND BACKFILL WITH REGARD TO COMPLYING WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION STANDARDS.
  2. ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



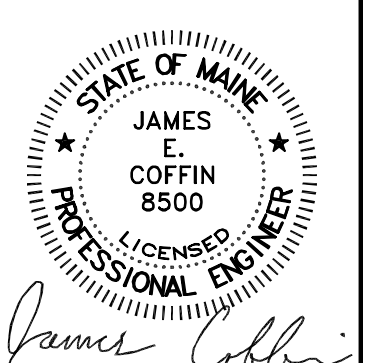
**TYPICAL ELECTRICAL/SITE LIGHTING TRENCH SECTION**  
NOT TO SCALE



**TYPICAL STORMWATER TRENCH SECTION**  
NOT TO SCALE



**WATER SERVICE TRENCH SECTION**  
NOT TO SCALE



**E.S. COFFIN**  
ENGINEERING & SURVEYING, INC.  
432 Corn Road, P.O. Box 4687, Augusta, Maine 04330  
PH: (207) 625-9475 Fax: (207) 625-9976 Toll Free: 1-800-249-9475

NO.	REVISIONS	DATE

**DETAILS III**

SCALE: AS SHOWN

DATE: AUGUST 17, 2023

DRAWN BY: TCH  
CHECKED BY: JEC

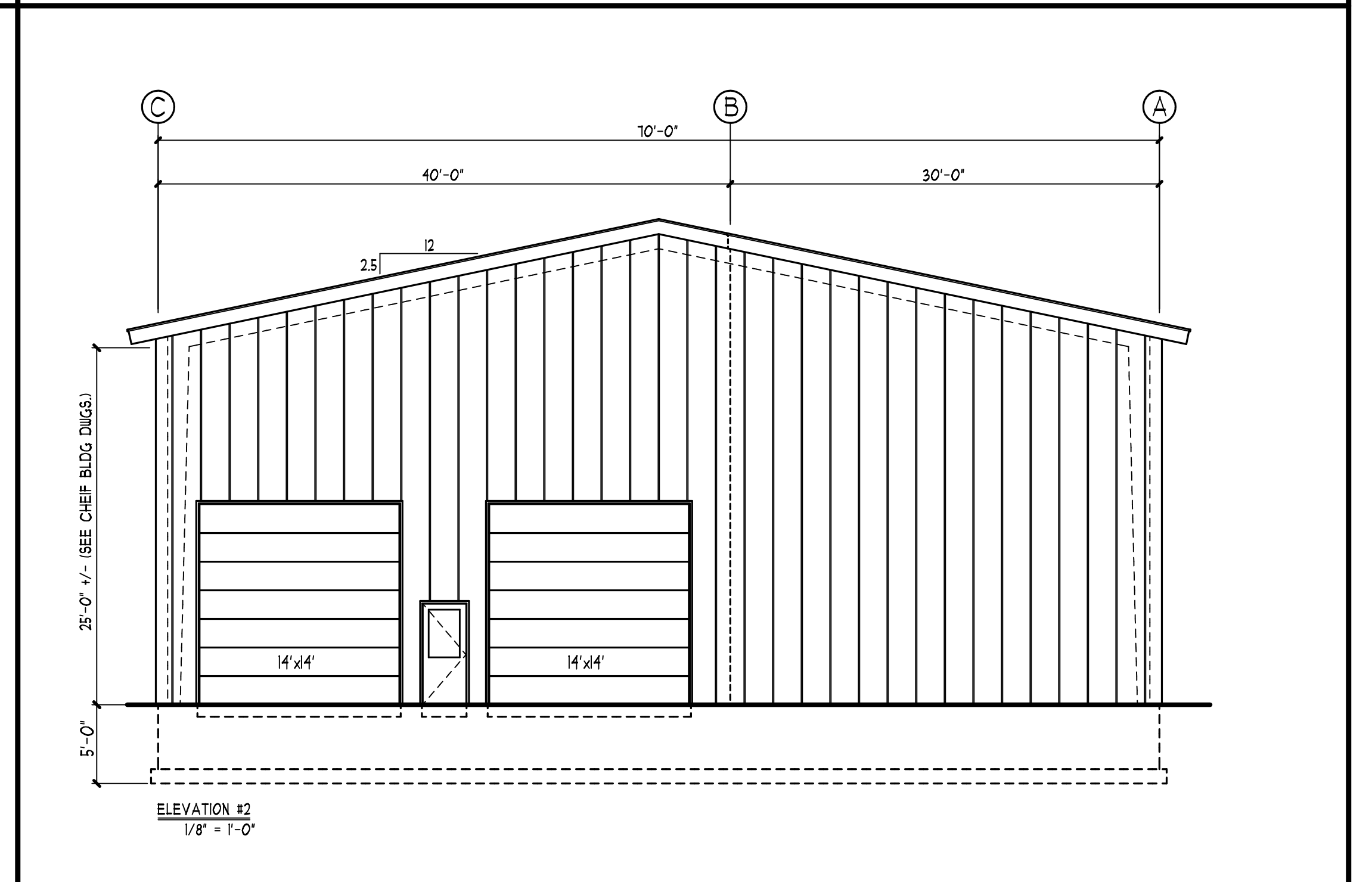
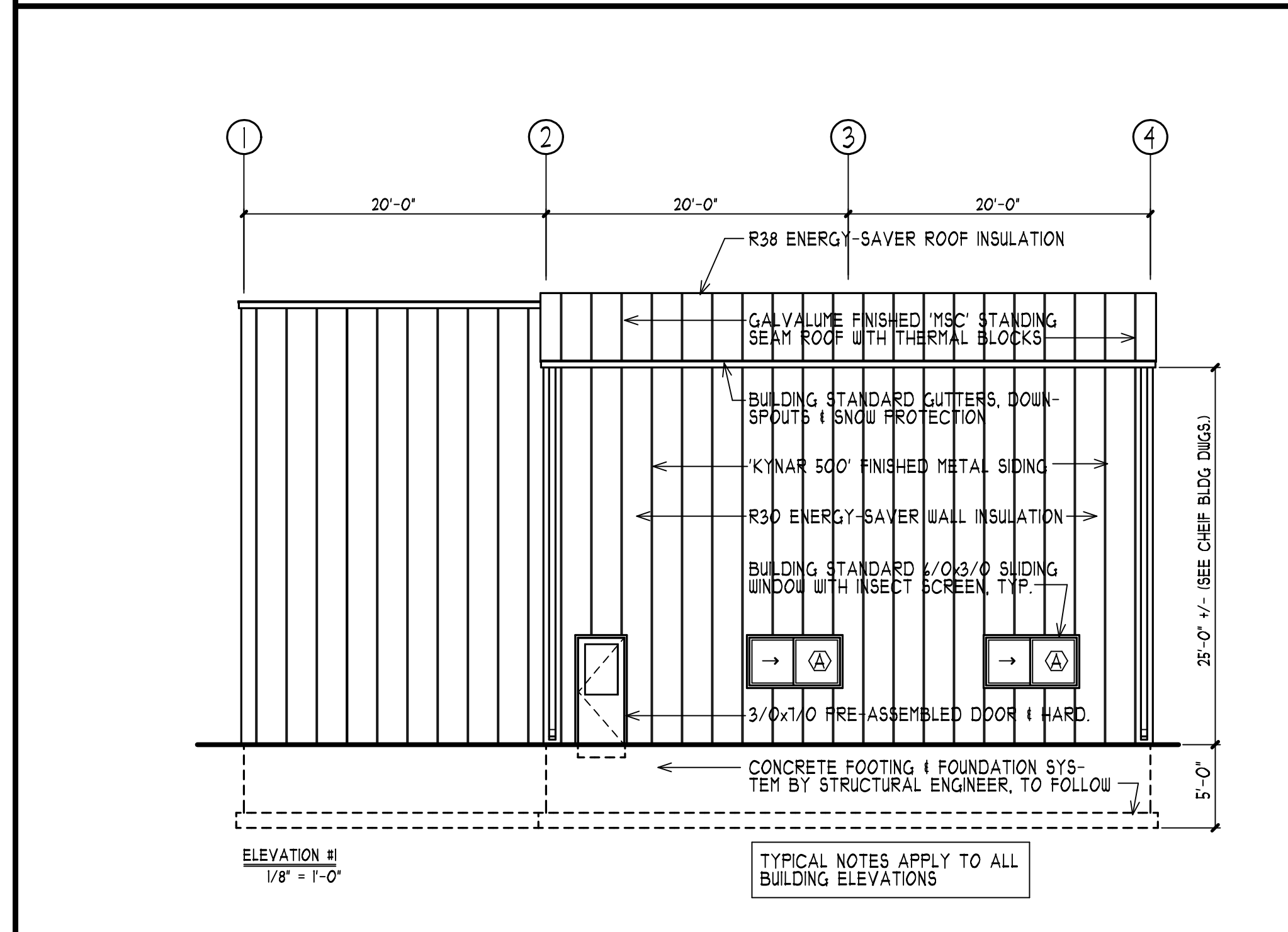
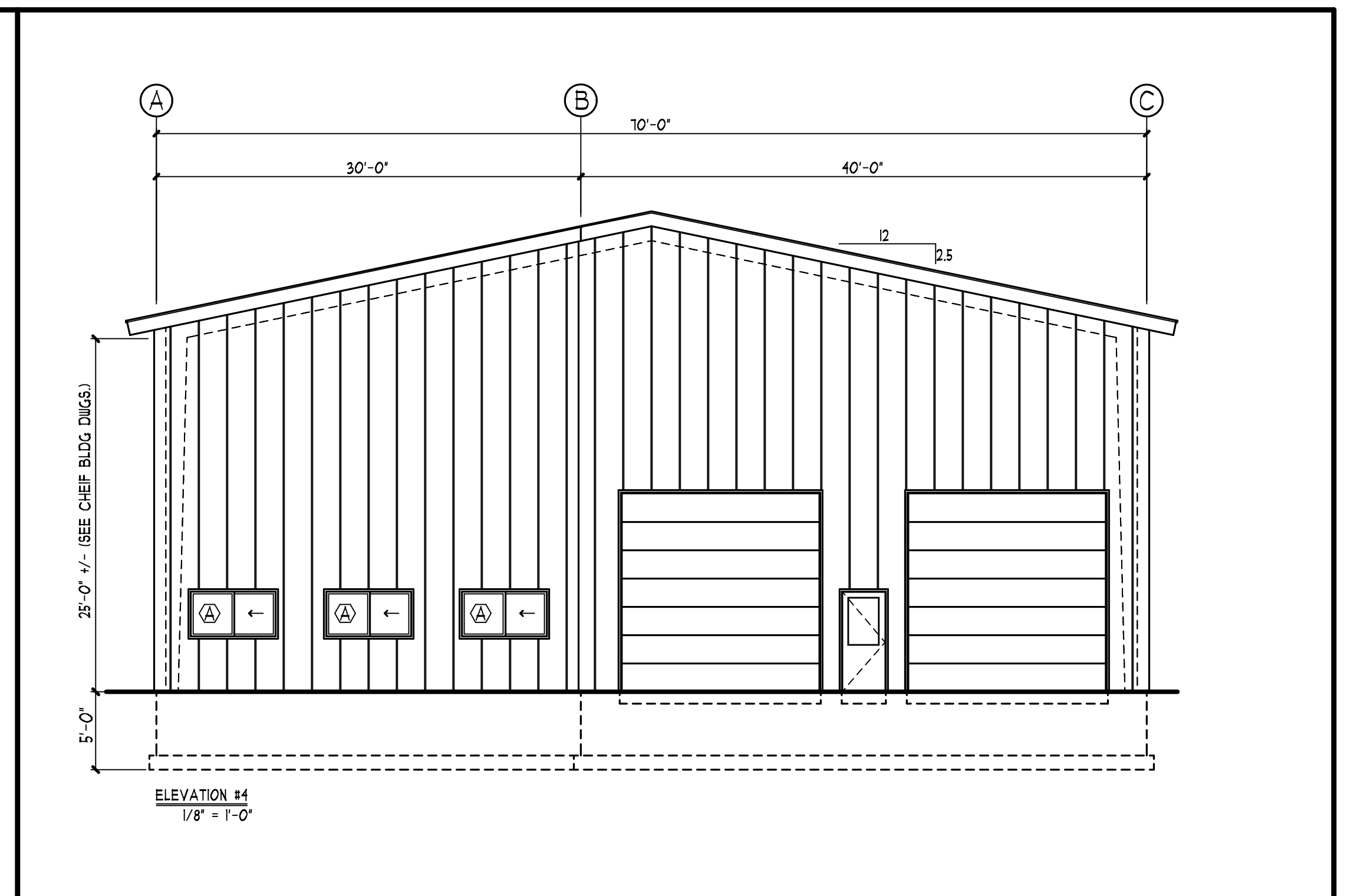
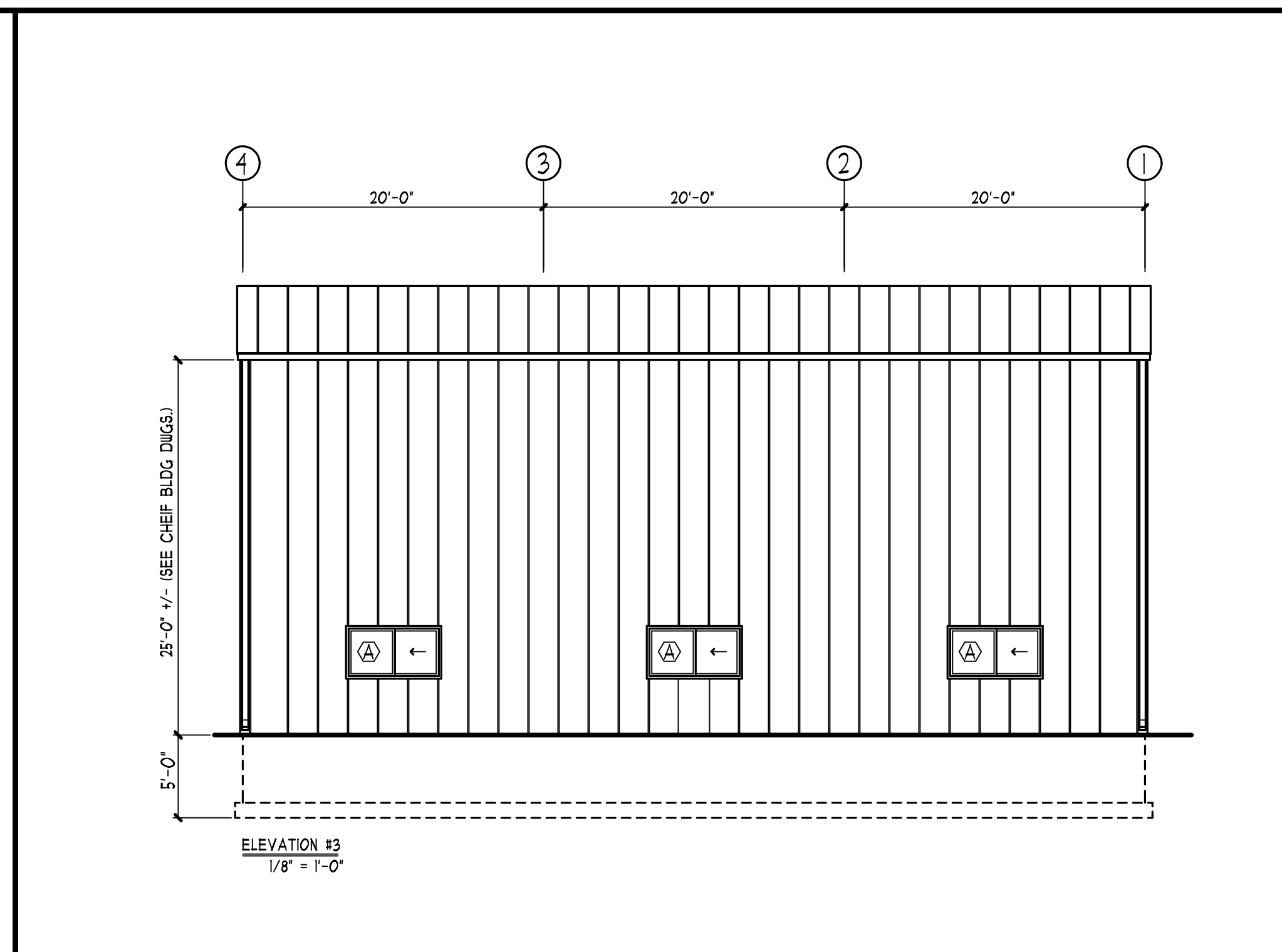
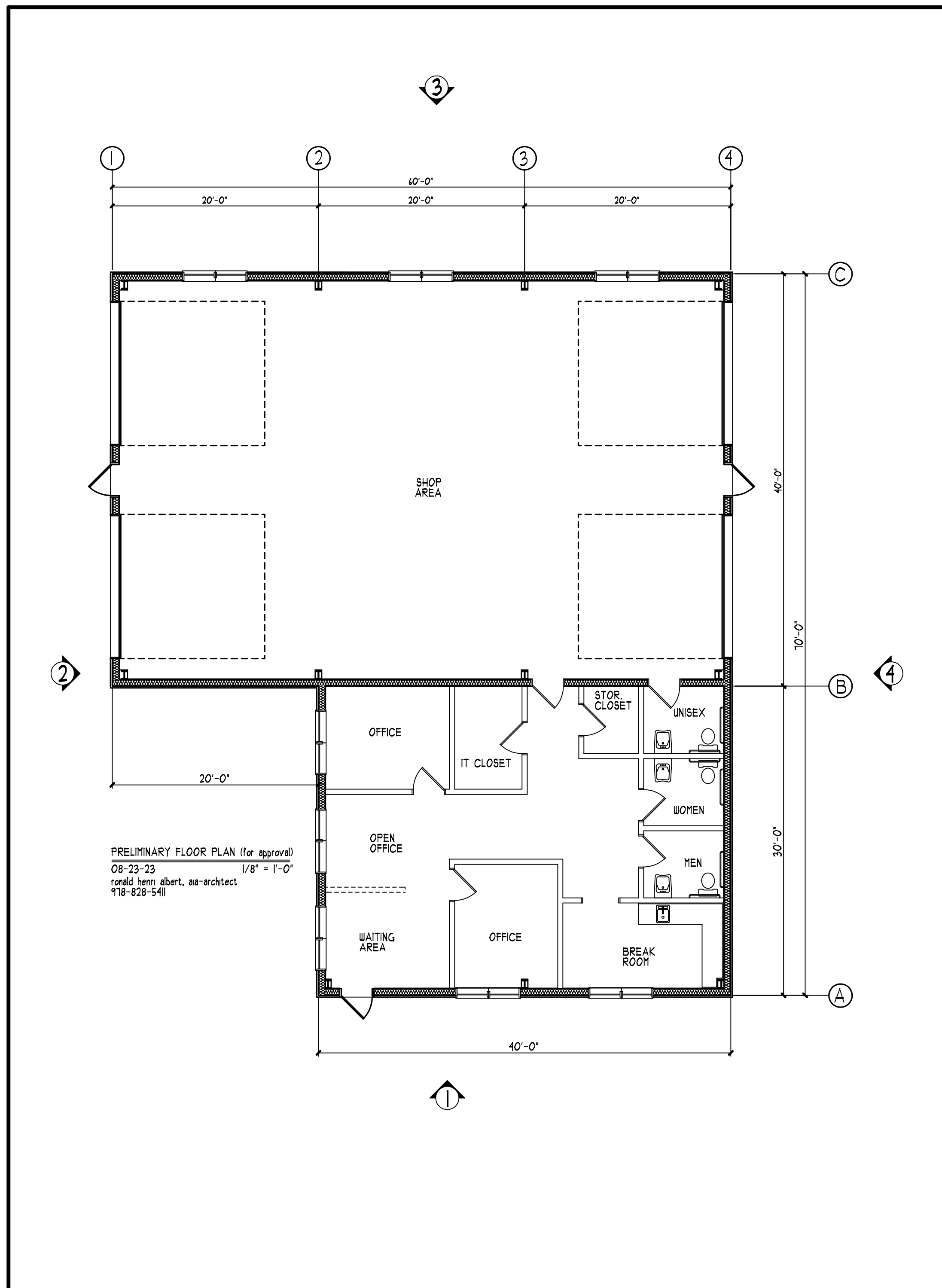
CLIENT/PROJECT: **GRA REAL ESTATE HOLDINGS, LLC LOT #21**

LOCATION: TROIANO WAY

TOWN: GARDNER COUNTY: KENNEBEC STATE: MAINE

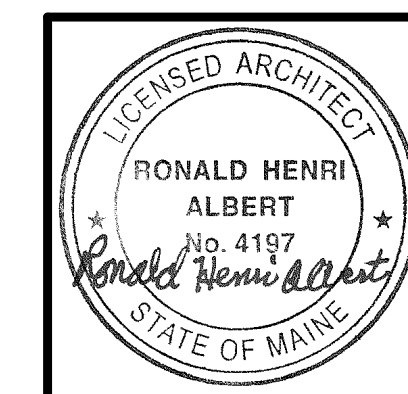
PROJ. NO. 2023-059

**C-5**



**PROJECT NARRATIVE:**

- RHA ARCHITECT HAS BEEN RETAINED TO PROVIDE AN ARCHITECTURAL COMPOSITE PLAN DEPICTING THE FLOOR PLAN LAYOUT SHOWING THE VARIOUS ARCHITECTURAL ELEMENTS AS WELL AS THE (4) EXTERIOR ELEVATIONS. THIS WORK IS SUPPORTIVE OF THE ENGINEERING DRAWINGS PROVIDED BY THE PRE-FABRICATED METAL BUILDING MANUFACTURER.
- SEE SITE PLAN PREPARED BY:  
E.S. COFFIN ENGINEERING & SURVEY, INC.  
422 CONY ROAD, P.O. BOX 4421  
AUGUSTA, ME 04330



Scale	1/8" = 1'-0"
Pro. No.	2311
Date	08-25-23
Rev.	

**A-1**

Project  
**GARDINER TAX MAP 2, LOT 20-2!**  
DEVELOPER: GRA REAL ESTATE HOLDINGS, LLC  
P.O. BOX 2150, SEABROOK, NH 03874

TROIANO WAY, GARDINER, ME  
Drawing  
**ARCHITECTURAL COMPOSITE PLAN**