

LINE TABLE			
LINE	BEARING	LENGTH	
LT	N05°20'52"E	26.73	

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	163.13	295.00	S53°23'31"W	180.00
C2	354.15	530.00	N22°39'27"E	347.60

STRRI
BOOK 13844, PAGE 12C
TAX MAP 2, LOT 20-22

SMP #1
R/M=204.44 (10.04)
I/W=148.82 (7.0)
I/W OUT=169.70

SMP #2
R/M=204.12 (10.02)
I/W=148.84 (7.0)
I/W OUT=169.70

PUMP STATION

INDUSTRIAL DRIVE

STELLA A. & LOUIS F. RICHARD
BOOK 13845, PAGE 25C
TAX MAP 2, LOT 20

ALEJANDRO & EMILY J. MUNIZ
BOOK 1701, PAGE 11E
TAX MAP 2, LOT 4A

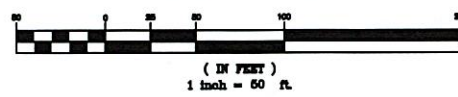
PETERA & LISAM DUBAY
BOOK 1728, PAGE 14C
TAX MAP 2, LOT 4-2

MARTHA S. & JOSEPH W. LESSARD JR.
BOOK 2543, PAGE 161
TAX MAP 2, LOT 4

CITY OF GARDINER
BOOK 2155, PAGE 2
TAX MAP 2, LOT 20-22

CITY OF GARDINER
BOOK 2155, PAGE 2
TAX MAP 2, LOT 20-22

GRAPHIC SCALE



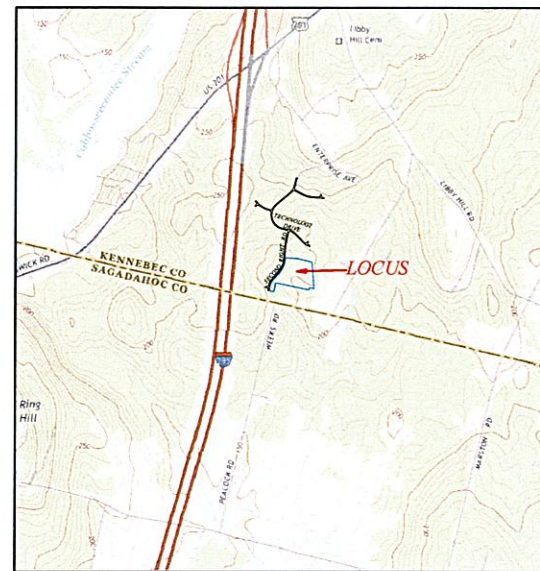
SURVEYOR'S NOTES:

The purpose of this plan is to show the existing topographical conditions of the proposed area to be developed by Preferred Pump Realty, Inc. This is not a boundary survey. Property lines are taken from Plan Reference 1. Wetlands delineated by Vaughn Smith Associates. Setbacks and buffers are taken from Plan Reference 2. The water line was marked by the Gardiner Water District.

Elevations are shown to the nearest one foot contour interval, derived from TBM "A" shown on Plan Reference 3. Directions are Gnd North, derived from Plan Reference 1.

PLAN REFERENCES:

- 1) "Boundary Survey, Libby Hill Business Park Phase 2, Weeks Road and Enterprise Avenue, Gardiner, Maine" by Maine Coast Surveying, revised through 4/1/07, recorded at the Kennebec County Registry of Deeds in Plan Book 2007-Page 136.
- 2) "Overall Buffer Plan, Libby Hill Business Park Phase 2, Weeks Road and Enterprise Avenue, Gardiner, Maine" by Milone & MacBroom, dated April 3, 2008, recorded at the Kennebec County Registry of Deeds in Plan 2008-Page 111.
- 3) "Libby Hill Business Park Lots 10 11, 12, Gardiner, Kennebec County, Maine" by Maine Coast Surveying, dated November 21, 2007, recorded at the Kennebec County Registry of Deeds in Plan Book 2008-Page 19.



LOCUS MAP
GARDINER
USGS QUAD SHEET
SCALE 1"=2000'

LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- DRILL HOLE IN LEDGE
- GRANITE MONUMENT FOUND
- 5/8" REBAR PROPOSED
- 4"x4" GRANITE MONUMENT PROPOSED
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- BELOW GROUND ELECTRIC
- LIGHT
- HYDRANT
- WATER VALVE
- WELL
- MONITORING WELL
- UNDERGROUND WATER LINE
- SIGN
- EXISTING CONTOUR
- SURVEYED LINE
- STOCKADE FENCE
- WIRE FENCE
- GUARDRAIL
- STONE WALL
- CATCH BASIN
- STORM PIPE
- SANITARY MANHOLE
- SANITARY PUMP STATION
- SANITARY LINE
- SETBACK
- FLAG
- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- VEGETATION
- APPROXIMATE WETLANDS
- PRIOR OWNER



E.S. COFFIN
ENGINEERING
SURVEYING
E.S. COFFIN ENGINEERING & SURVEYING, INC.
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NO.	REVISIONS	DATE

TOPOGRAPHIC SURVEY

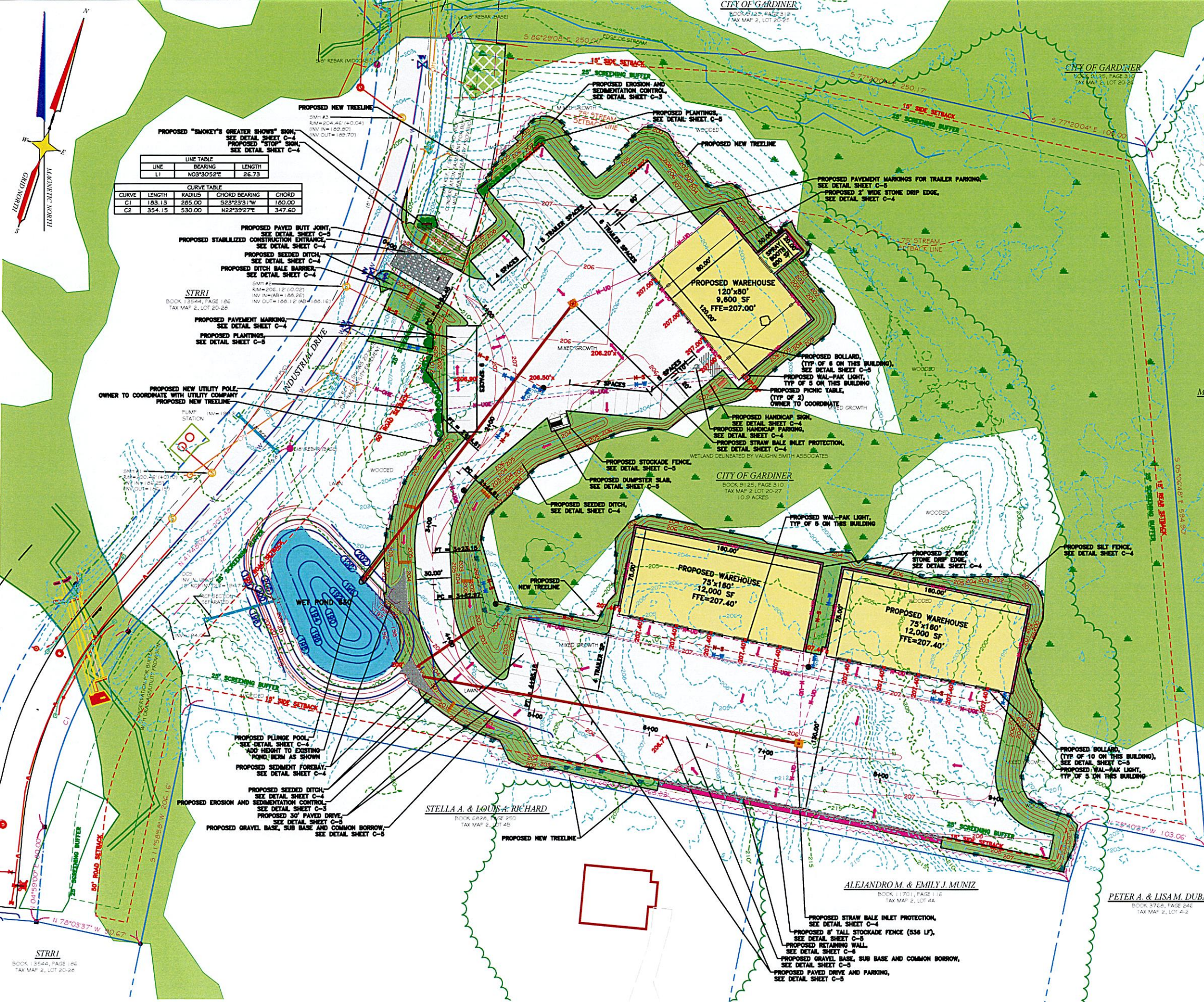
SCALE: 1 INCH=50 FEET
DATE: JULY 2022
DRAWN BY: MJG
CHECKED BY: KPC

CLIENT/PROJECT: ISLAND PROPERTIES, LLC SMOKEY'S GREATER SHOWS
LOCATION: INDUSTRIAL DRIVE
TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE

PROJECT NO. 2023-039

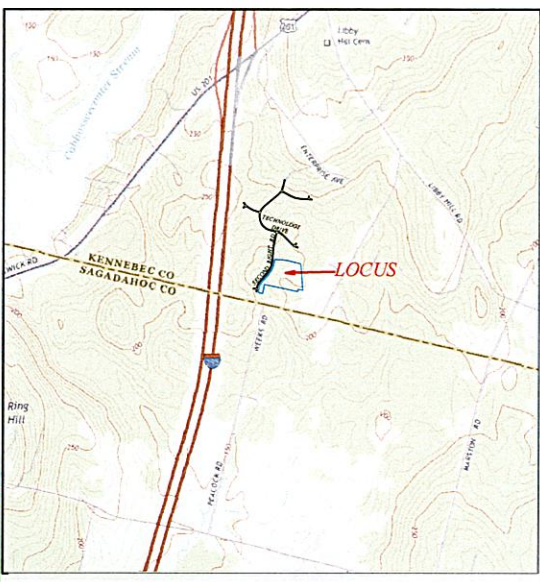


Ken F. Coffin, PLS 1282
an agent of E.S. Coffin Engineering & Surveying, Inc.
No warranty is made to others, utilizing this plan for
the purpose of further development, site certifications,
data descriptions, construction, etc.



LINE TABLE			
LINE	BEARING	LENGTH	
L1	N03°30'52"E	26.73	

CURVE TABLE			
CURVE	LENGTH	RADIUS	CHORD BEARING
C1	183.13	285.00	S23°23'31"W
C2	354.15	530.00	N22°39'27"E



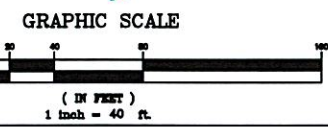
LOCUS MAP
GARDNER
USCS QUAD SHEET
SCALE 1" = 2000'

LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- DRILL HOLE IN LEDGE
- GRANITE MONUMENT FOUND
- 5/8" REBAR PROPOSED
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- BELOW GROUND ELECTRIC
- LIGHT
- HYDRANT
- WATER VALVE
- WELL
- UNDERGROUND WATER LINE
- SIGN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SURVEYED LINE
- STOCKADE FENCE
- WIRE FENCE
- GUARDRAIL
- STONE WALL
- CATCH BASIN
- STORM PIPE
- SANITARY MANHOLE
- SANITARY PUMP STATION
- SANITARY LINE
- SETBACK
- FLOW ARROW
- CONIFEROUS TREE
- DECIDUOUS TREE
- VEGETATION
- APPROXIMATE WETLANDS

LANDSCAPING NOTES
NORTH, EAST AND WEST PROPERTY LINES MEET THE LANDSCAPING REQUIREMENTS WITH THE EXISTING TREES ON SITE. AN 8' HIGH VINYL FENCE WILL BE INSTALLED ALONG THE SOUTH PROPERTY LINE.

- GENERAL SITE INFORMATION:**
- LAND OWNER: CITY OF GARDNER
6 CHURCH STREET
GARDNER, MAINE 04345
 - APPLICANT: ISLAND PROPERTIES, LLC
7 ARBUTUS TRAIL
COVENTRY, RI 02827
 - DEED: KENNEBEC COUNTY REGISTRY OF DEEDS
BOOK 9125 - PAGE 310
APPLICANT HAS P&S AGREEMENT
 - GARDNER TAX MAP 2 - LOT 27
 - ZONE: PLANNED INDUSTRIAL COMMERCIAL (PIC)
 - IMPERVIOUS AREA:
EXISTING: 0 SF
NEW: 138,815 SF (3.19 ACRES)
TOTAL: 138,815 SF (3.19 ACRES)
 - DISTURBED AREA: 186,540 SF (4.28 ACRES)
 - PARKING SPACES:
REQUIRED:
WAREHOUSE: (34,200 SF) = 34 SPACES
ACTUAL = 25 SPACES
 - WETLAND DISTURBANCE = 0 SF



JAMES E. COFFIN
PROFESSIONAL ENGINEER
STATE OF MAINE
LICENSE NO. 8500

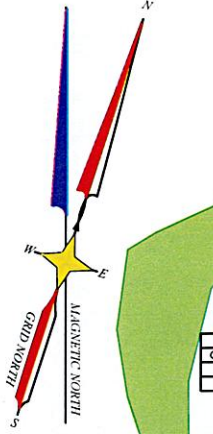
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NO.	REVISIONS	DATE

<p>SITE PLAN</p>	<p>CLIENT PROJECT: ISLAND PROPERTIES, LLC SMOKEY'S GREATER SHOWS</p>
<p>SHEET TITLE:</p>	<p>LOCATION: INDUSTRIAL DRIVE TOWN: GARDNER COUNTY: KENNEBEC STATE: MAINE</p>
<p>SCALE: 1 INCH = 40 FEET</p>	<p>DRAWN BY: TGH CHECKED BY: JEC</p>
<p>DATE: NOVEMBER 13, 2023</p>	<p>PROJ. NO. 2023-039</p>

C-1



LINE TABLE			
LINE	BEARING	LENGTH	
L1	N03°30'52"E	26.73	

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD
C1	163.13	205.00	S23°23'31"W	180.00
C2	354.15	530.00	N22°39'27"E	347.60

PROPOSED CB #1
 RM=204.90'
 INV IN=201.20'
 INV OUT=201.00'
 SEE DETAIL SHEET C-5

PROPOSED 6" PE SANITARY LINE
 L=182.00' S=0.0236 FT/FT
 SEE DETAIL SHEET C-5
 TEST PIT REQUIRED TO VERIFY HORIZONTAL AND VERTICAL LOCATION ASSUMED TO BE INV=188.4'

STRRI
 BOOK 1354, PAGE 196
 TAX MAP 2, LOT 20-28
 THE INTO EXISTING WATER SERVICE STUM.
 TEST PIT REQUIRED TO VERIFY ELEVATION AND LOCATION.
 PROPOSED 2" PE WATER SERVICE LINE
 SEE DETAIL SHEET C-5

PROPOSED SMH #2
 RM=208.20'
 INV IN=183.80'
 INV OUT=183.80'
 SEE DETAIL SHEET C-5

PROPOSED 15" PE PIPE
 L=292.00' S=0.0103 FT/FT
 SEE DETAIL SHEET C-5

PROPOSED 6" PE SANITARY SERVICE LINE
 L=98.00' S=0.0104 FT/FT
 SEE DETAIL SHEET C-5

PROPOSED SMH #1
 RM=208.40'
 INV(S) IN=192.70'
 INV OUT=192.80'
 SEE DETAIL SHEET C-5

PROPOSED 6" PE SANITARY SERVICE LINE
 L=106.00' S=0.0104 FT/FT
 SEE DETAIL SHEET C-5

PROPOSED 6" PE SANITARY SERVICE LINE
 L=78.88' S=0.0236 FT/FT
 SEE DETAIL SHEET C-5

PROPOSED 2" PE WATER VALVE
 SEE DETAIL SHEET C-5
 PROPOSED ELECTRICAL LINE
 SEE DETAIL SHEET C-5

PROPOSED 2" PE WATER SERVICE LINE
 SEE DETAIL SHEET C-5

PROPOSED 15" PE PIPE
 L=84.00' S=0.0281 FT/FT
 SEE DETAIL SHEET C-5
 INV IN=200.80'
 INV(S) OUT=199.00'

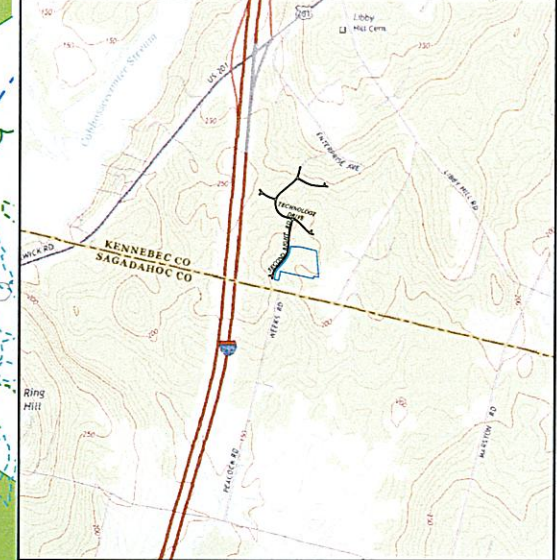
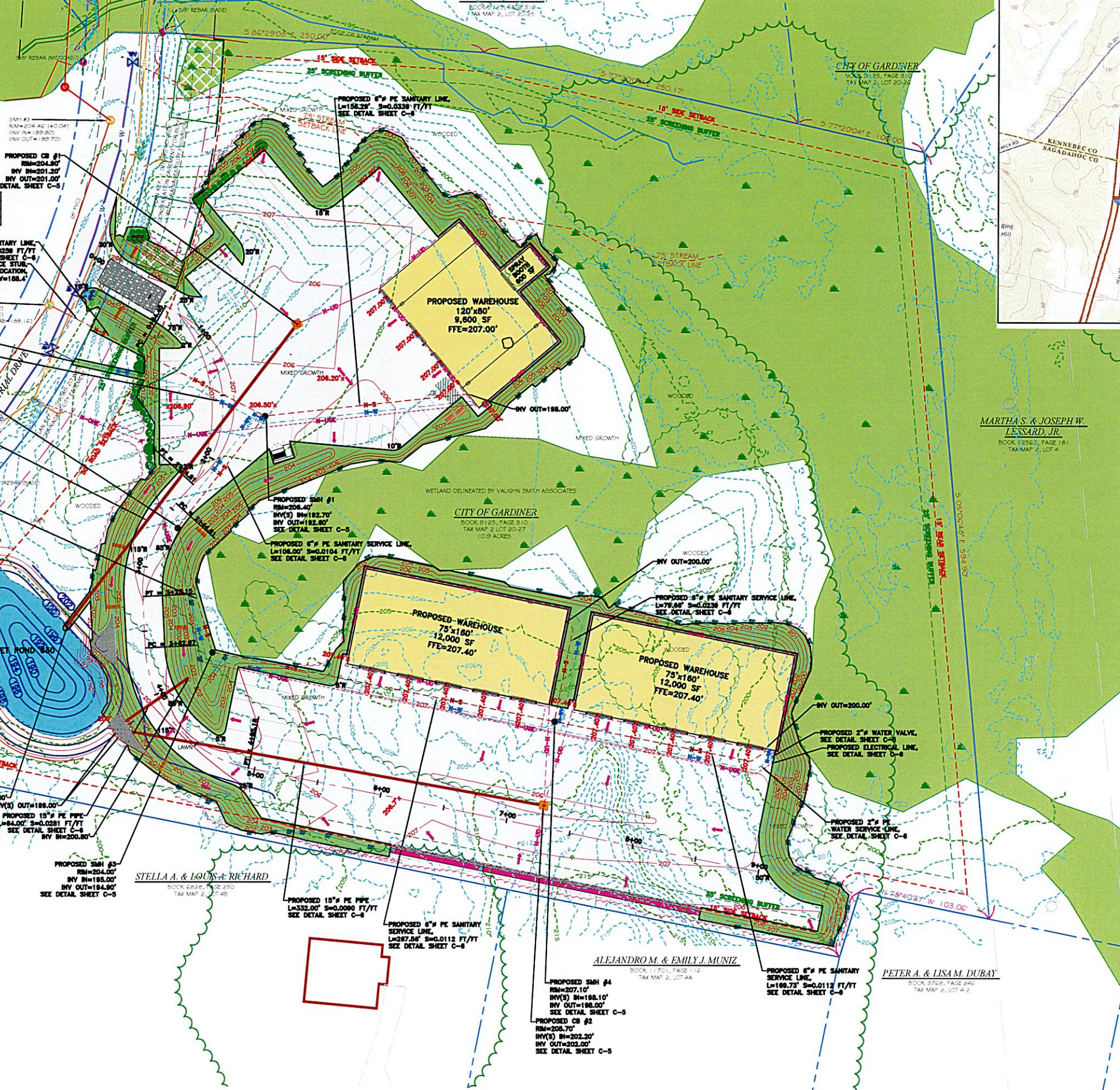
PROPOSED SMH #3
 RM=204.00'
 INV IN=198.00'
 INV OUT=194.80'
 SEE DETAIL SHEET C-5

PROPOSED 15" PE PIPE
 L=332.00' S=0.0090 FT/FT
 SEE DETAIL SHEET C-5

PROPOSED 6" PE SANITARY SERVICE LINE
 L=287.88' S=0.0112 FT/FT
 SEE DETAIL SHEET C-5

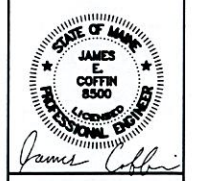
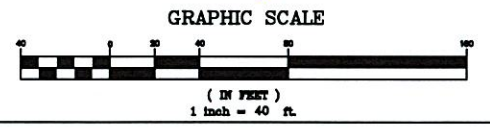
PROPOSED SMH #4
 RM=207.10'
 INV(S) IN=198.10'
 INV OUT=198.00'
 SEE DETAIL SHEET C-5

PROPOSED CB #2
 RM=205.70'
 INV(S) IN=202.20'
 INV OUT=202.00'
 SEE DETAIL SHEET C-5



LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- DRILL HOLE IN LEDGE
- GRANITE MONUMENT FOUND
- 5/8" REBAR PROPOSED
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- BELOW GROUND ELECTRIC
- LIGHT
- HYDRANT
- WATER VALVE
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- CONIFEROUS TREE
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- VEGETATION
- APPROXIMATE WETLANDS



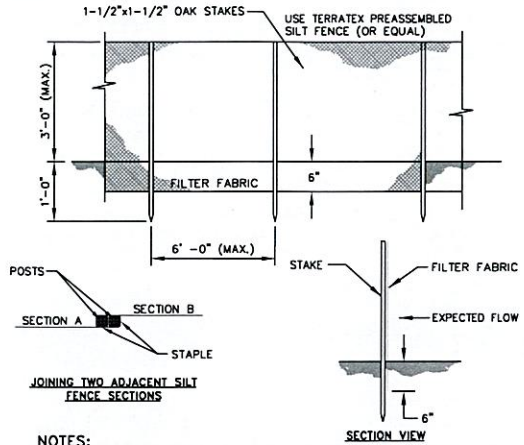
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 Ph. (207) 623-8725 Fax. (207) 623-0016 Toll Free 1-800-249-0175

NO.	REVISIONS	DATE

UTILITY PLAN
 SCALE: 1 INCH=40 FEET
 DATE: NOVEMBER 13, 2023
 DRAWN BY: TGH
 CHECKED BY: JEC

CLIENT/PROJECT: ISLAND PROPERTIES, LLC
 SMOKEY'S GREATER SHOWS
 LOCATION: INDUSTRIAL DRIVE
 TOWN: GARDNER COUNTY: KENNEBEC STATE: MAINE

PROJ. NO. 2023-039
C-2



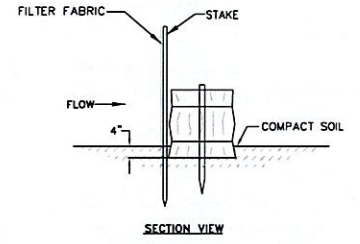
NOTES:
SILT FENCE AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OF FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

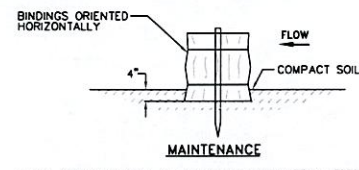
THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SILT FENCE DETAIL
NOT TO SCALE



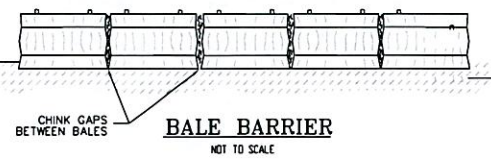
SILT FENCE/BALE BARRIER DETAIL
NOT TO SCALE

NOTES:
ANY SEDIMENT BARRIERS LOCATED AT LOW POINTS OR SUBJECT TO PONDING ALONG THE FENCE SHALL BE REINFORCED AS SHOWN ABOVE WITH A COMBINATION OF HAYBALES & SILT FENCE. THE CONTRACTOR SHALL REMOVE SEDIMENT TRAPPED AT THESE LOW POINTS AFTER EVERY STORM EVENT.

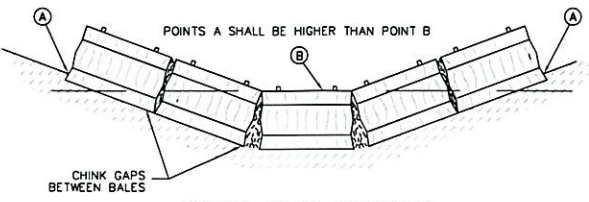


MAINTENANCE
- THE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
- NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. THEY MUST BE REMOVED WHEN THE BARRIER IS REMOVED.

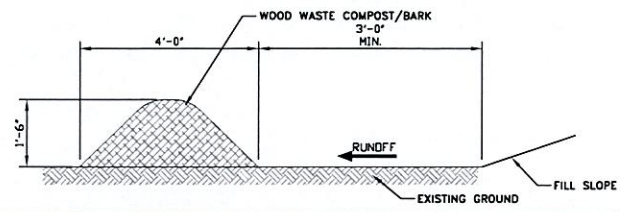
NOTES:
- BALES ARE HAY OR STRAW, DIMENSIONS: 14" x 18" x 30", WIRE OR NYLON, PLACED IN DRAINAGE AREAS, UPON THE CONTOUR OF THE GROUND. BALES ARE TO BE PLACED IN A ROW, WITH ENDS TIGHTLY SET AGAINST THE ADJACENT BALE.
- EACH BALE IS TO BE EMBEDDED IN THE SOIL A MINIMUM OF 4" AND ANCHORED IN PLACE BY STAKES DRIVEN THROUGH THE BALES INTO THE GROUND AT LEAST 18". THE STAKES ARE TO BE DRIVEN IN SUCH A MANNER AS TO FORCE THE ENDS OF THE BALES TOGETHER. STAKES MAY BE REBAR STEEL PICKETS, 2" x 2" SOFTWOOD, OR 1" x 1" HARDWOOD.



BALE BARRIER
NOT TO SCALE



DITCH BALE BARRIER
NOT TO SCALE



WOOD WASTE COMPOST/BARK FILTER BERMS

THE FILTER BERM SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER-FLUME LOG HANDLING SYSTEMS. COMPOSTED MIXES CAN BE USED UPON APPROVAL OF THE OFFICE OF ENVIRONMENTAL SERVICES LANDSCAPE UNIT.

THE MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:
A. MOISTURE CONTENT - 30-60%
B. pH - 5.0-8.0
C. SCREEN SIZE - 100% LESS THAN 3", MAXIMUM 70% LESS THAN 1".
D. NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION
E. NO STONES LARGER THAN 2" IN DIAMETER

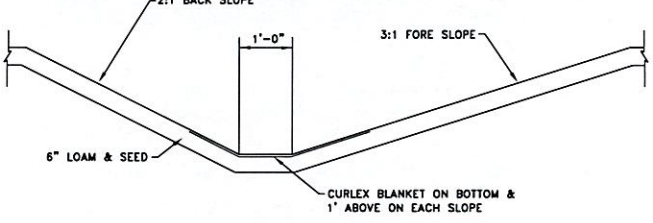
THE COMPOSTED BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.

NOTE:
WOOD WASTE COMPOST/BARK FILTER BERMS MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE WOOD WASTE COMPOST/BARK BERM BY LARGER SEDIMENT PARTICLES. (SILT FENCE PLACED TO FILTER RUNOFF BEFORE WOOD WASTE COMPOST/BARK)

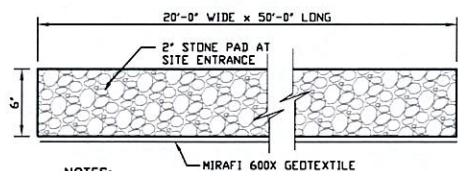
WOOD WASTE COMPOST/BARK FILTER BERM ALTERNATIVE
NOT TO SCALE

SPECIFICATIONS
UPON FINAL GRADING, THE DISTURBED AREAS SHALL BE IMMEDIATELY SEEDED TO PERMANENT VEGETATION AND MULCHED. THE DITCH WILL NOT BE UTILIZED AS AN OUTLET UNTIL A DENSE, VIGOROUS VEGETATIVE COVER HAS BEEN OBTAINED. NETTING OR EXCELSIOR MESH SHALL BE INSTALLED AT THE BASE OF THE VEGETATIVE CHANNEL.

MAINTENANCE
MOW WATERWAY AT LEAST ONCE ANNUALLY. WHEN PRACTICAL, DELAY MOWING UNTIL AFTER JULY 15TH TO ACCOMMODATE GROUND NESTING WILDLIFE. MOW TO A HEIGHT OF 4 TO 6 INCHES TO HELP MAINTAIN GOOD SURFACE PROTECTION. EXCESSIVE GROWTH SHALL BE REMOVED. DO NOT MOW LATER THAN 30 DAYS PRIOR TO THE FIRST KILLING FROST.

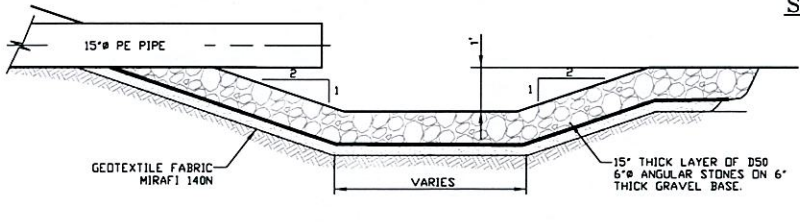


SEEDED DITCH DETAIL
NOT TO SCALE

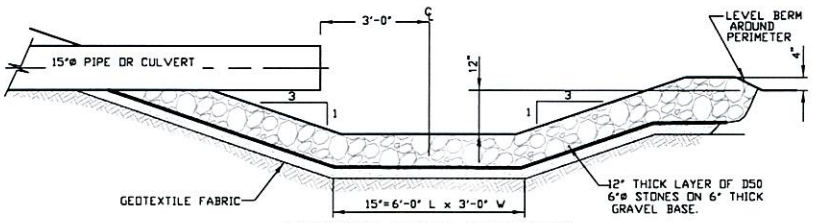


NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO ROAD.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

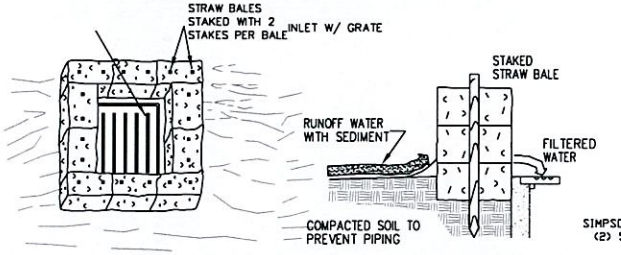


SEDIMENT FOREBAY SECTION
NOT TO SCALE

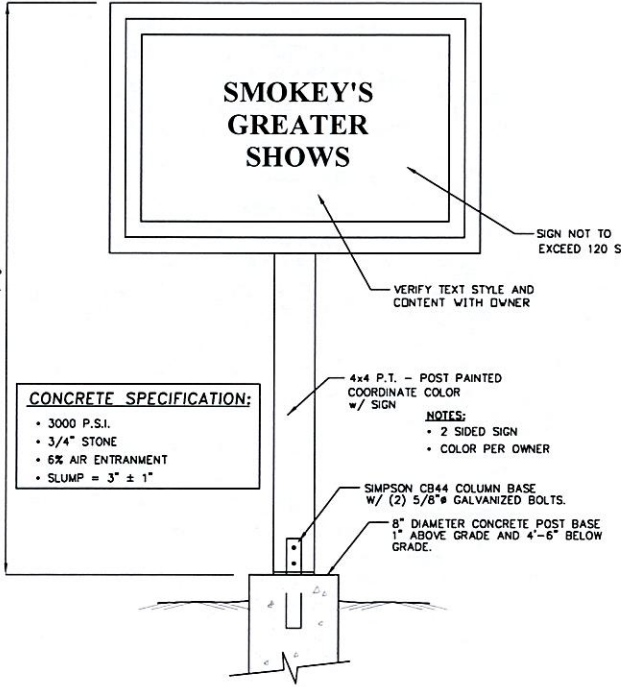


PLUNGE POOL SECTION
NOT TO SCALE

STRAW BALE INLET NOTE
CONSTRUCTION SPECIFICATIONS
1. STRAW BALE INLET STRUCTURE
A: BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH BINDINGS ORIENTED AROUND THE SIDE RATHER THAN OVER AND UNDER THE BALES.
B: BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
C: THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET THE WIDTH OF A BALE TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
D: EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBAR DRIVEN THROUGH THE BALE.
E: LOOSE STRAW SHALL BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.

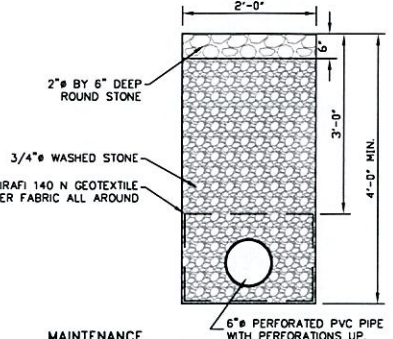


STRAW BALE INLET PROTECTION
NOT TO SCALE



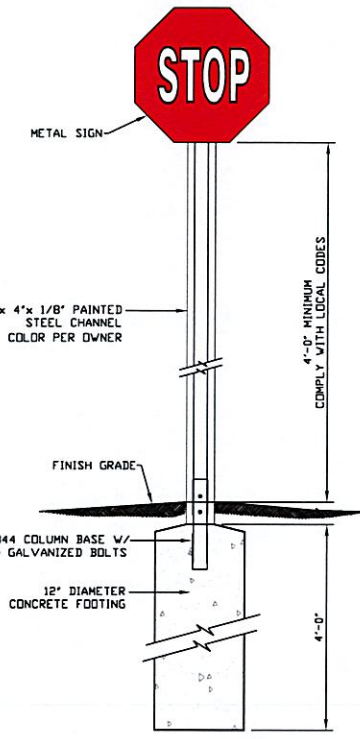
CONCRETE SPECIFICATION:
• 3000 P.S.I.
• 3/4" STONE
• 6% AIR ENTRAINMENT
• SLUMP = 3" ± 1"

SINGLE SIDED ENTRANCE SIGN
NOT TO SCALE

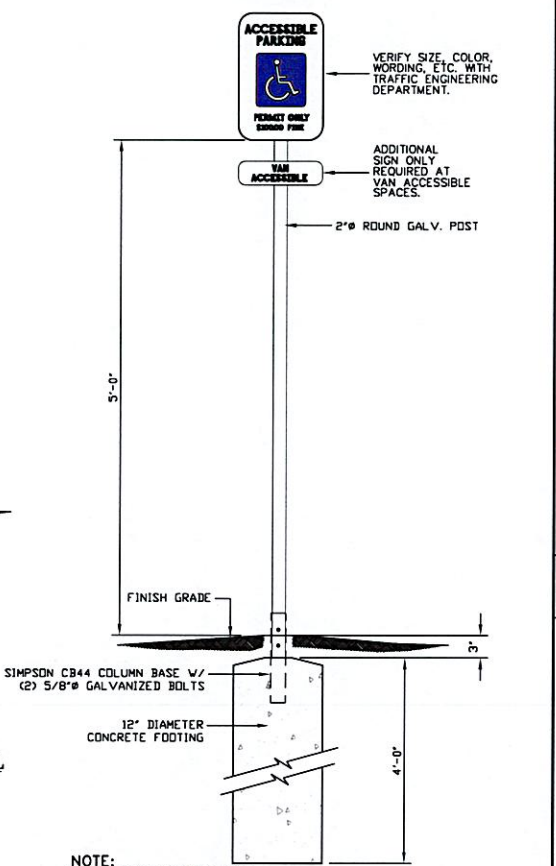


MAINTENANCE
REGULAR INSPECTIONS MUST BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT MUST BE REMOVED WHEN VISIBLE AT THE TOP OF THE DRAIN. WEEDS AND OTHER DEBRIS SHALL BE REMOVED FROM DRAIN PERIODICALLY AFTER ACCUMULATION. THE AREA IN AND AROUND THE DRAIN SHALL BE MOVED AT LEAST SEMI-ANNUALLY. SHOULD DRAIN BECOME PLUGGED OR BROKEN THAT SECTION SHALL BE REPLACED IMMEDIATELY.

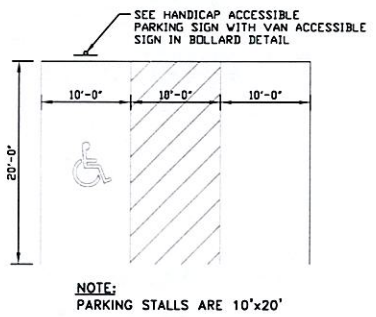
STONE DRIP EDGE DETAIL
NOT TO SCALE



TYPICAL STOP SIGN DETAIL
NOT TO SCALE



HANDICAP ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



HANDICAP PARKING DETAIL
NOT TO SCALE

STATE OF MAINE
JAMES E. COFFIN
LICENSED PROFESSIONAL ENGINEER
James Coffin

E.S. COFFIN
ENGINEERING
SURVEYING
INC.

432 Camp Road, P.O. Box 4687, Augusta, Maine 04310
Ph: (207) 623-9425 Fax: (207) 623-0016 Toll Free: 1-800-246-9475

NO.	REVISIONS	DATE

CLIENT/TITLE: ISLAND PROPERTIES, LLC SMOKEY'S GREATER SHOWS
SCALE: AS SHOWN
DATE: NOVEMBER 13, 2023
DRAWN BY: TGH
CHECKED BY: JFC

TOWN: GARDNER COUNTY: KENNEBEC STATE: MAINE

PROJECT NO: 2023-039

C-4

GENERAL NOTES

1. AGGREGATE FOR GRAVEL BASE

AGGREGATE FOR GRAVEL BASE SHALL BE SCREENED OR CRUSHED GRAVEL OF HARD DURABLE PARTICLES FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES. THE GRADATION OF THE PART THAT PASSES A 3 INCH SIEVE SHALL MEET THE GRADING REQUIREMENTS OF THE FOLLOWING TABLE:

SIEVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING SQUARE MESH SIEVES		
	TYPE A AGGREGATE	TYPE B AGGREGATE	STRUCTURAL FILL
2" / 3" / 4"	100 (2")	100 (3")	100 (4")
1/2 INCH	45-70	35-80	90-100
1/4 INCH	30-55	25-65	25-90
No. 40	0-20	0-30	0-30
No. 200	0-6	0-7	0-5

TYPE "A" AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 2 INCH SQUARE MESH SIEVE.

TYPE "D" AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 6 INCH SQUARE MESH SIEVE.

EACH LAYER AS APPLIED SHALL BE ROLLED WITH A 20 TON ROLLER. THE MATERIAL AS SPREAD SHALL BE WELL MIXED WITH NO POCKETS OF EITHER FINE OR COARSE MATERIAL. OVER SIZED STONES SHALL BE REMOVED FROM THE AGGREGATE.

EACH LAYER OF AGGREGATE SHALL BE PLACED OVER THE FULL WIDTH OF THE SECTION. AGGREGATE BASE AND SUB-BASE COURSES MAY BE PLACED UPON FROZEN SURFACES WHEN SUCH SURFACES HAVE BEEN PROPERLY CONSTRUCTED.

THE SURFACE OF EACH LAYER SHALL BE MAINTAINED DURING COMPACTION OPERATIONS IN SUCH A MANNER THAT A UNIFORM TEXTURE IS PRODUCED AND THE AGGREGATE IS FIRMLY KEVED. THE MOISTURE CONTENT OF THE MATERIAL SHALL BE MAINTAINED AT THE PROPER PERCENT TO ATTAIN THE REQUIRED COMPACTION AND STABILITY. COMPACTION OF EACH LAYER SHALL BE CONTINUED UNTIL DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY" HAS BEEN ACHIEVED FOR THE FULL WIDTH AND DEPTH OF EACH LAYER AS APPLIED.

THE SURFACE TOLERANCE OF EACH BASE COURSE AS APPLIED SHALL BE 3/8 INCHES ABOVE OR BELOW THE REQUIRED TEMPLATE LINES.

2. AGGREGATE FOR SUB-BASE

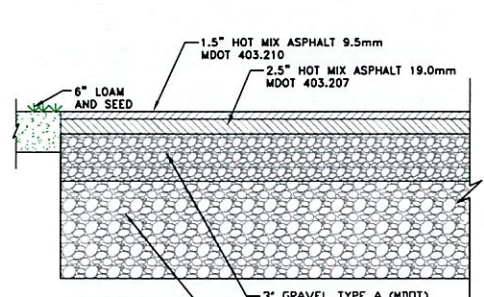
AGGREGATE FOR SUB-BASE SHALL BE TYPE "D" (MDO). IT SHALL BE FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES.

3. COMMON BORROW

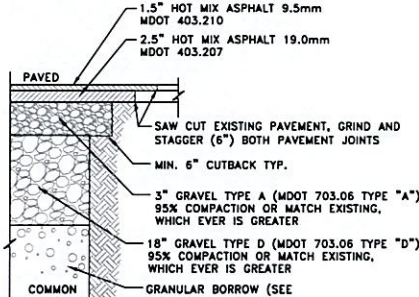
COMMON BORROW SHALL CONSIST OF EARTH, SUITABLE FOR EMBANKMENT CONSTRUCTION. IT SHALL BE FREE FROM FROZEN MATERIAL, PERISHABLE RUBBISH, PEAT AND OTHER UNSUITABLE MATERIAL.

THE MOISTURE CONTENT SHALL BE SUFFICIENT TO PROVIDE THE REQUIRED COMPACTION AND STABLE EMBANKMENT. IN NO CASE SHALL THE MOISTURE CONTENT EXCEED 4 PERCENT ABOVE OPTIMUM.

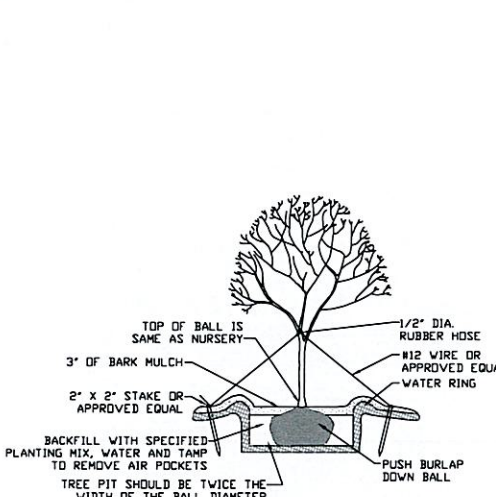
ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAX. DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



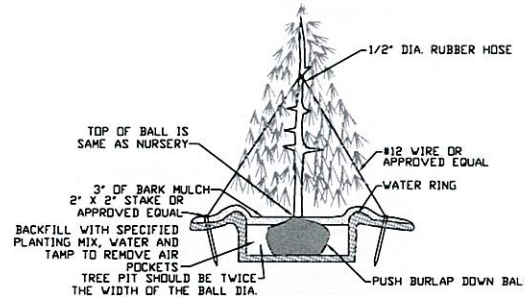
PAVED PARKING AND DRIVE DETAIL
NOT TO SCALE



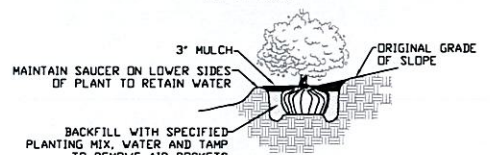
BUTT JOINT DETAIL
NOT TO SCALE



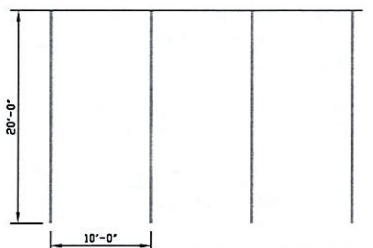
DECIDUOUS TREE PLANTING
NOT TO SCALE



CONIFEROUS TREE PLANTING
NOT TO SCALE



SHRUB PLANTING ON SLOPES
NOT TO SCALE

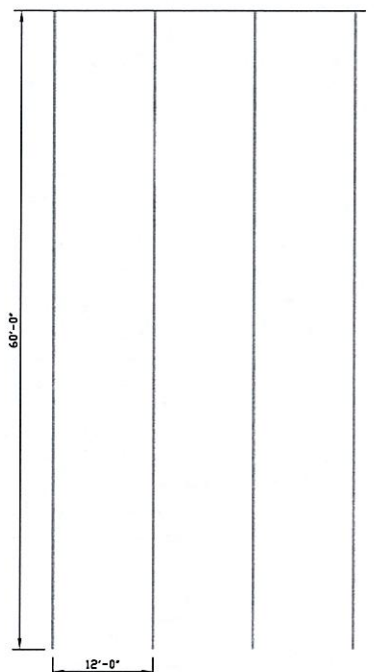


TYPICAL VEHICLE PARKING STALL

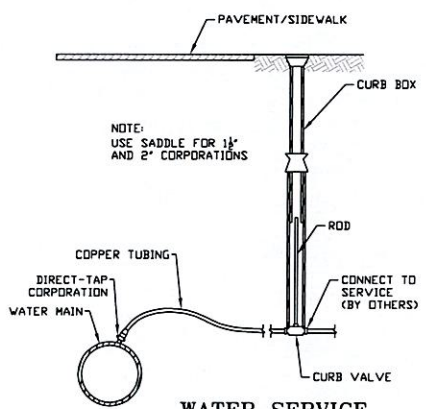
SPECIFICATIONS

PAVEMENT MARKING PAINT FOR FINAL AND TEMPORARY PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF AASHTO M248, EITHER TYPE N (REGULAR TRAFFIC PAINT) OR TYPE F (FAST DRY TRAFFIC PAINT) MAY BE USED.
ALL PAVEMENT LINES AND MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
IMMEDIATELY BEFORE APPLYING THE PAVEMENT PAINT TO THE PAVEMENT OR CURB, THE SURFACE SHALL BE DRY AND ENTIRELY FREE FROM DIRT, GREASE, OIL OR OTHER FOREIGN MATTER.
ALL PAVEMENT MARKING LINES SHALL BE 4" SOLID WHITE.

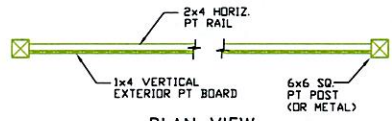
**PAVEMENT MARKING
DETAIL & SPECIFICATION**
NOT TO SCALE



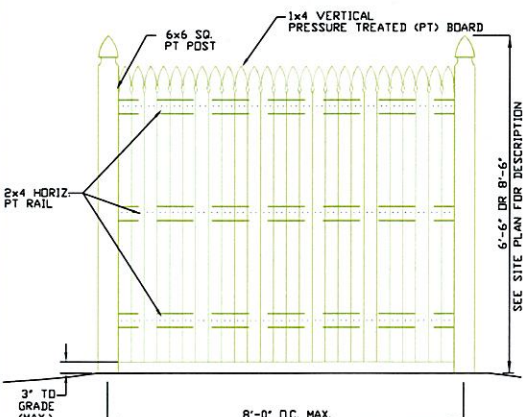
TYPICAL TRAILER PARKING STALL
NOT TO SCALE



WATER SERVICE
NOT TO SCALE



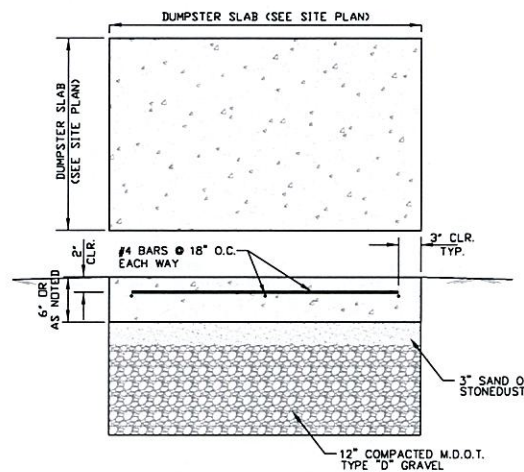
PLAN VIEW



EXTERIOR ELEVATION

- NOTES:**
1. ALL POSTS TO BE SET 3'-6" INTO GROUND AND COMPACTED ALL AROUND.
 2. ANY POST SET LESS THAN 3'-0" SHALL BE SET ON 10" DIAM. CONCRETE FILLED SODMOTURE. USE SIMPSON STRONG-TIE POST BASE, AND SET BELOW GRADE TO HIDE CONCRETE & CONNECTOR.
 3. POST SET ON LEDGE SHALL BE DRILLED AND PINNED. ANCHORING METHOD TO BE APPROVED BY SITE ENGINEER.
 4. 2x4 PT RAILS SHALL HAVE DOVELED ENDS FOR POST CONNECTION.
 5. ALL GATES TO MATCH FENCE.
 6. OWNER TO SPECIFY PAINTING.

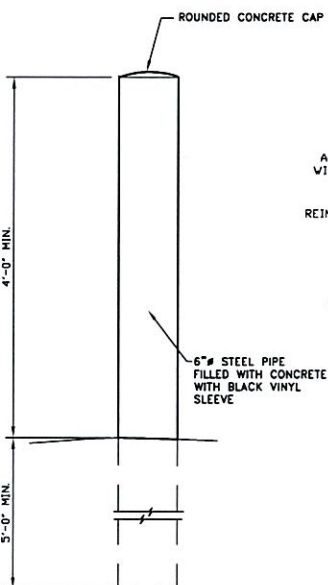
WOOD STOCKADE FENCE DETAIL
NOT TO SCALE



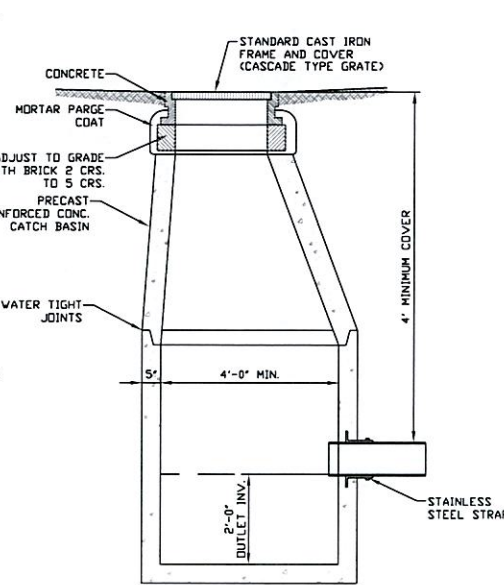
TYPICAL DUMPSTER SLAB DETAIL
NOT TO SCALE

CONCRETE SPECIFICATION:

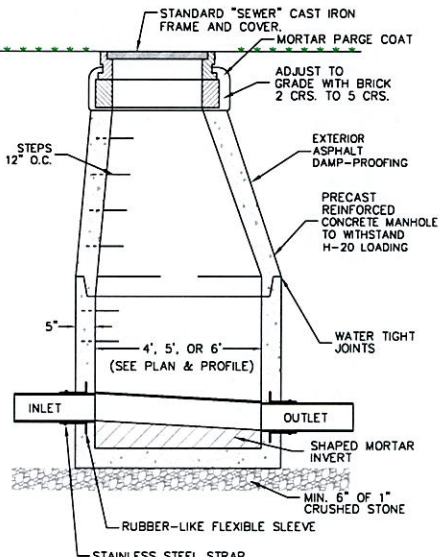
- 4000 P.S.I.
- 3/4" STONE
- 6% AIR ENTRAINMENT
- SLUMP = 3" ± 1"
- FINE BROOM FINISH



BOLLARD DETAIL
NOT TO SCALE

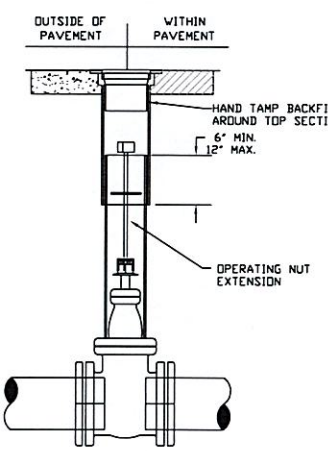


PRECAST CATCH BASIN
NOT TO SCALE



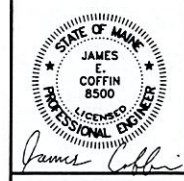
STANDARD PRECAST MANHOLE WITH SANITARY GRAVITY LINE
NOT TO SCALE

NOTE: USE FLAT TOP MANHOLE WHEN THE DIFFERENCE BETWEEN RIM AND INVERT IS LESS THAN 6".



GATE VALVE DETAIL
NOT TO SCALE

- NOTES:**
- 1) VALVE BOX NOT TO REST ON OPERATING ASSEMBLY.
 - 2) A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE WITH AN OPERATING NUT LOCATED IN EXCESS OF 4 FEET BELOW THE TOP OF THE VALVE BOX. THIS EXTENSION SHALL BE SUFFICIENT LENGTH TO ENSURE THAT ITS TOP IS WITHIN 4 FEET OF THE VALVE BOX LID.



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DETAILS III

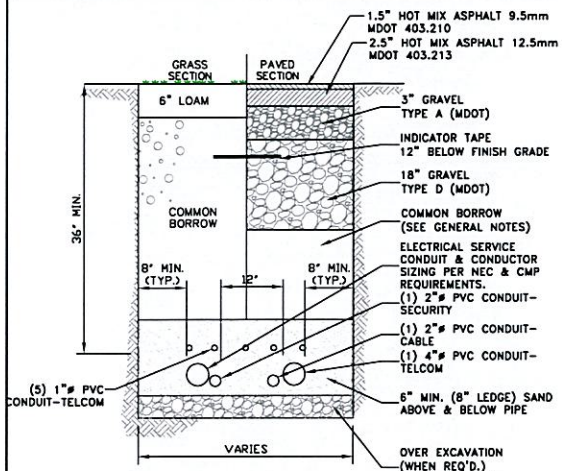
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CLIENT/PROJECT: ISLAND PROPERTIES, LLC
SMOKEY'S GREATER SHOWS
LOCATION: INDUSTRIAL DRIVE
COUNTY: KENNEBEC STATE: MAINE
TOWN: GARDNER

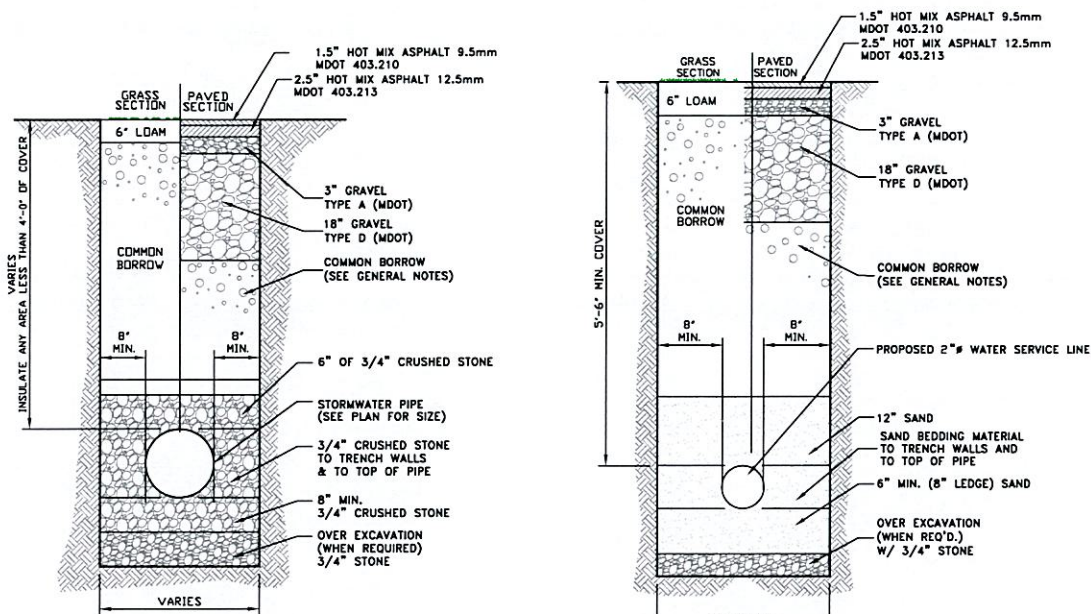
PROJ. NO. 2023-039

TRENCH NOTES:

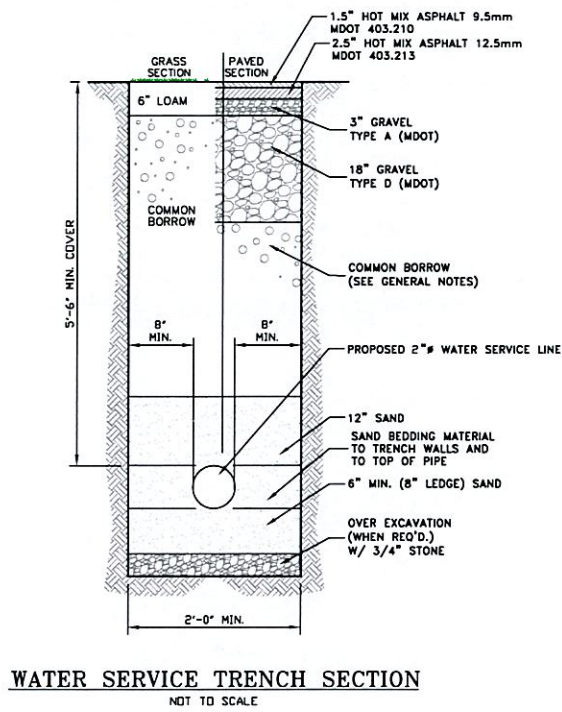
- CONTRACTOR SHALL COMPLY WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION REGULATIONS PERTAINING TO THE EXCAVATION OF ALL TRENCHES. CONTRACTOR SHALL ALLOW FOR PAYMENT OF ADDITIONAL EXCAVATION, TRENCH BOXES AND BACKFILL WITH REGARD TO COMPLYING WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION STANDARDS.
- ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



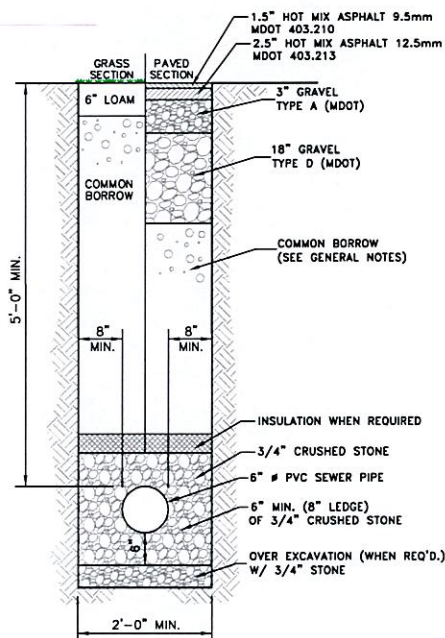
TYPICAL ELECTRICAL/SITE LIGHTING TRENCH SECTION
NOT TO SCALE



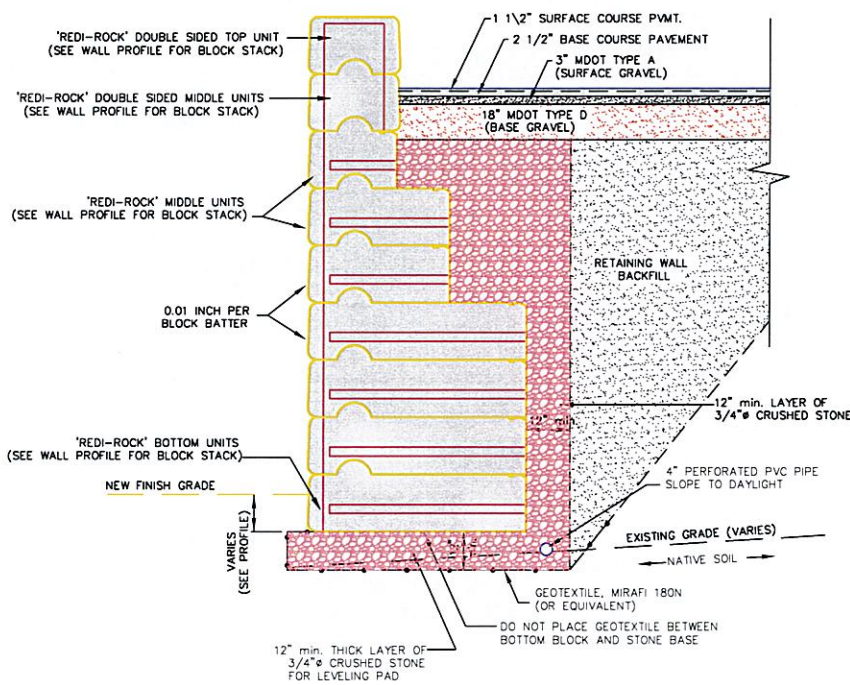
TYPICAL STORMWATER TRENCH SECTION
NOT TO SCALE



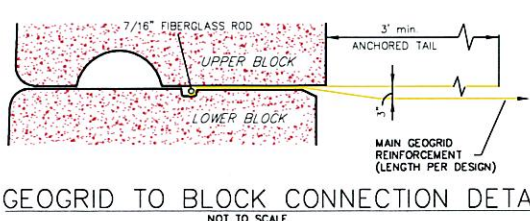
WATER SERVICE TRENCH SECTION
NOT TO SCALE



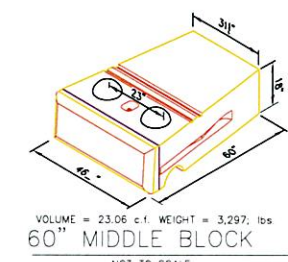
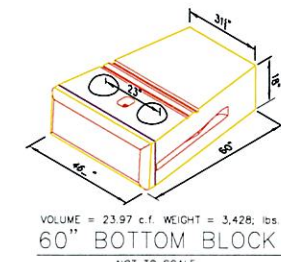
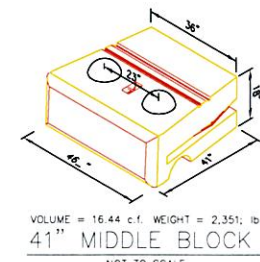
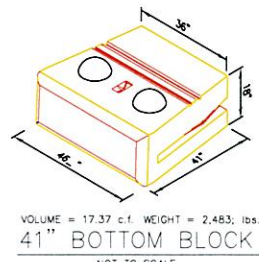
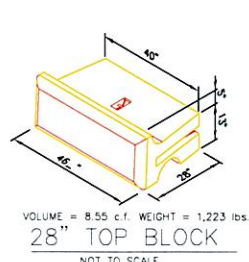
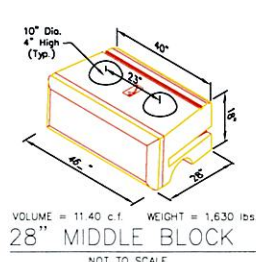
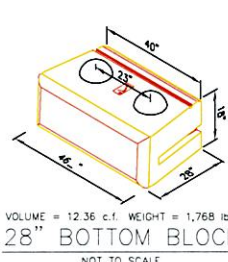
TYPICAL SANITARY TRENCH SECTION
NOT TO SCALE



TYPICAL CROSS SECTION
NOT TO SCALE



GEOGRID TO BLOCK CONNECTION DETAIL
NOT TO SCALE



MATERIAL SPECIFICATIONS

INSTALL 3/4" DRAINAGE STONE AND WALL BACKFILL SOIL BEHIND THE WALL. COMPACT WALL BACKFILL IN LIFTS NOT EXCEEDING 18".

SWEEP OFF TOP OF BLOCKS AND GRIND SMOOTH ANY ROUGH EDGES ON THE BACK OF THE BLOCKS TO AVOID DAMAGE TO GEOGRID.

CONTRACTOR SHALL TAKE PRECAUTIONS DURING THE INSTALLATION AND COMPACTION OF THE DRAINAGE AND BACKFILL MATERIAL TO ENSURE THAT WALL BACKFILL DOES NOT CONTAMINATE THE DRAINAGE STONE DIRECTLY BEHIND THE WALL. REMOVE AND REPLACE ANY AREAS OF DRAINAGE MATERIAL THAT INADVERTENTLY BECOMES CONTAMINATED DURING THE BACKFILLING OPERATION.

CONTINUE PLACEMENT OF BLOCK WALL, DRAINAGE AGGREGATE AND WALL BACKFILL SOIL TO FULL HEIGHT OF WALL MAINTAINING HORIZONTAL AND VERTICAL ALIGNMENT DURING CONSTRUCTION. USE SMALL VIBRATORY PLATE COMPACTOR WITHIN 3' OF THE BACK OF THE WALL.

3/4" DRAINAGE STONE SHALL BE CLEAN ANGULAR CRUSHED STONE MEETING THE FOLLOWING GRADATION AS DETERMINED IN ACCORDANCE WITH ASTM D422.

SIEVE SIZE	PERCENT PASSING
1"	100
1 1/4"	90 - 100
3/8"	20 - 55
No. 4	0 - 10
No. 8	0 - 5

WALL BACKFILL SHALL BE A FREE DRAINING, WELL GRADED GRANULAR MATERIAL MEETING THE FOLLOWING GRADATION (REFERENCE MDT 703.22, GRAVEL BORROW).

SIEVE SIZE	PERCENT PASSING
4"	100
1 1/4"	25 - 70
No. 40	0 - 30
No. 200	0 - 5

BLOCKS SHALL BE 28", 41" AND 60" REDI-ROCK, UNDER LICENSE OF REDI-ROCK INTERNATIONAL. VERTICAL BATTER, COLOR AND FACING TO BE SELECTED BY OWNER BASED ON SAMPLES PROVIDED BY MANUFACTURER. SETBACK SHALL BE 0.01 INCHES PER BLOCK.

THE FOLLOWING ASSUMPTIONS WERE USED IN THE DESIGN:

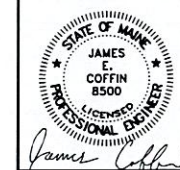
- SLOPE AT TOP OF WALL IS LEVEL.
- MINIMUM DESIGN EMBEDMENT AT WALL FACE VARIES
- SOIL PROPERTIES:
FOUNDATION SOIL: NATIVE, UNIT WEIGHT = 125 pcf, phi = 30°
RETAINED SOIL: NATIVE, UNIT WEIGHT = 130 pcf, phi = 34°
- LIVE LOAD SURCHARGE = 250 psf
- GROUNDWATER AT OR BELOW BASE OF WALL.
- SEISMIC DESIGN COEFFICIENT = 0.08
- MAXIMUM CONTACT PRESSURE = 3,500 psf

GEOTEXTILE SHALL CONSIST OF MIRAFI 180N OR EQUIVALENT.

CONCRETE FOR WALL BASE FOOTINGS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000psi AND BE AIR ENTRAINED AS REQUIRED TO PROVIDE AN AIR CONTENT OF 5% (±1%).

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR OR THEIR RESPECTIVE REPRESENTATIVES TO ENSURE THAT CONSTRUCTION OF THE WALL AND MATERIALS USED IN THE CONSTRUCTION OF THE WALL ARE IN ACCORDANCE WITH THESE SPECIFICATIONS AND/OR THE CONTRACT SPECIFICATIONS WHICH EVER ARE MORE STRINGENT.
- E.S. COFFIN ENGINEERING & SURVEYING ACCEPTS NO RESPONSIBILITY NOR LIABILITY IN THE DETERMINATION OF THE ADEQUACY OF SITE MATERIALS AND WALL LAYOUT.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THAT ALL ELEVATIONS AND ASSUMED SITE CONDITIONS SHOWN ON THESE DRAWINGS ARE ACCURATE TO THE GIVEN SITE CONDITIONS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF S.G.S. PRIOR TO THE START OF CONSTRUCTION.
- THE WALL HAS BEEN DESIGNED ON THE ASSUMPTION THAT THE WALL BACKFILL MATERIAL SHALL BE FREE OF SUBSURFACE DRAINAGE OR WATER (SEEPAGE). PERMANENT SUBSURFACE WATER (SEEPAGE) COLLECTION AND DIVERSION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR OWNERS ENGINEER (SEE RECOMMENDED TYPICAL DETAILS).
- DURING CONSTRUCTION BEFORE RAIN EVENTS, BACKFILL SURFACE SHALL BE GRADED AWAY FROM THE WALL FACE AND A TEMPORARY SOIL BERM CONSTRUCTED NEAR THE TOP CREST TO PREVENT SURFACE WATER RUNOFF FROM OVERTOPPING THE WALL. PROVIDE PRECAUTIONS AS NECESSARY TO ENSURE THAT SURFACE RUN OFF FROM ADJACENT AREAS DOES NOT ENTER THE WALL CONSTRUCTION SITE. DURING CONSTRUCTION BEFORE RAIN EVENTS, BACKFILL SURFACE SHALL BE SMOOTHED OUT TO PREVENT PONDING OF WATER AND SATURATION OF SOIL.
- THE REDI-ROCK WALL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER AND THE INFORMATION FURNISHED ON THESE DRAWINGS.
- FOUNDATION EXCAVATION SHALL EXTEND TO COMPETENT SOIL. (UNLESS NOTED OTHERWISE) ALL EXISTING TOPSOIL, LOOSE MATERIAL, FILL, ORGANIC SOIL AND OTHER SOFT OR UNSTABLE FOUNDATION SOILS SHALL BE REMOVED FROM THE AREA TO BE OCCUPIED BY THE WALL AND REPLACED WITH 3/4" CRUSHED STONE. REMOVE UNSUITABLE FOUNDATION SOILS TO THE LATERAL LIMITS EXTENDING BEYOND THE WALL A DISTANCE EQUAL TO THE DEPTH OF FILL REQUIRED BELOW THE WALL PLUS (1) ONE FOOT.
- UPON COMPLETION OF THE EXCAVATION, THE NATURAL SUBGRADE SHALL BE COMPACTED USING A VIBRATORY ROLLER AND MAKING A MINIMUM OF 5 PASSES.
- INSTALL A 12" (MINIMUM THICK) LAYER OF COMPACTED 1/2" CRUSHED STONE FOR BLOCK WALL LEVELING PAD OR CONCRETE FOOTING. EXTEND LEVELING PAD 6" HORIZONTALLY IN ALL DIRECTIONS BEYOND LIMITS OF THE PRECAST BLOCK WALL.
- INSTALL THE BASE COURSE OF BLOCKS ON THE PREPARED FOUNDATION LEVELING PAD. LEVELING PAD MATERIAL VARIES ACCORDING TO SECTION AND PLAN/PROFILE. ENSURE THAT THE BASE COURSE IS LEVEL SIDE TO SIDE AND PLUMB. ADJUST BLOCKS AS REQUIRED TO PROVIDE A STRAIGHT AND LEVEL BASE COURSE.



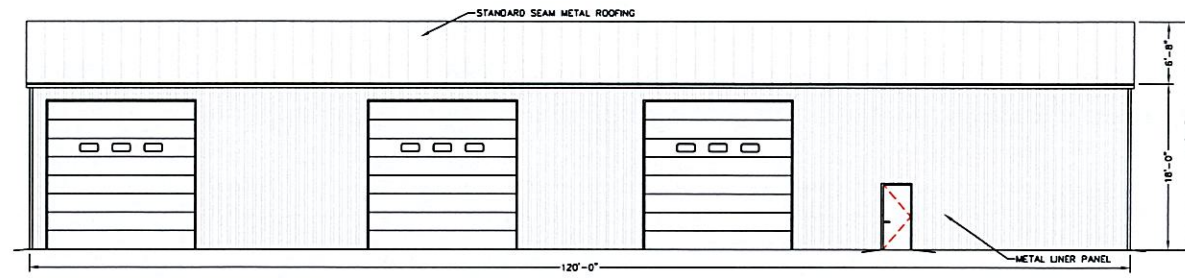
NO.	REVISIONS	DATE

ISLAND PROPERTIES, LLC
SMOKEY'S GREATER SHOWS

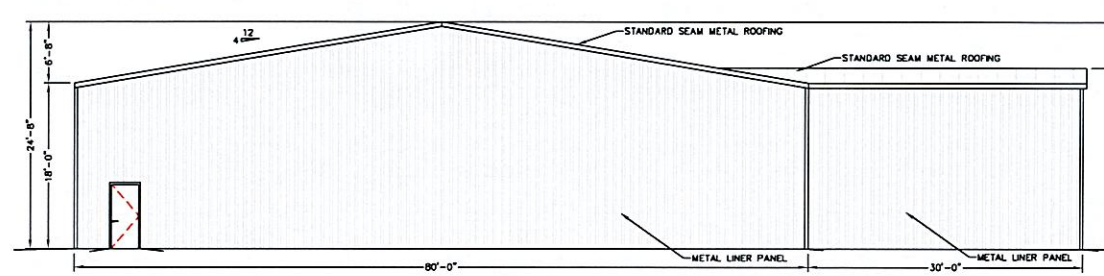
CLIENT/PROJECT: ISLAND PROPERTIES, LLC SMOKEY'S GREATER SHOWS
LOCATION: INDUSTRIAL DRIVE
TOWN: GARDNER COUNTY: KENNEBEC STATE: MAINE

SCALE: AS SHOWN
DRAWN BY: TGH
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DATE: NOVEMBER 13, 2023

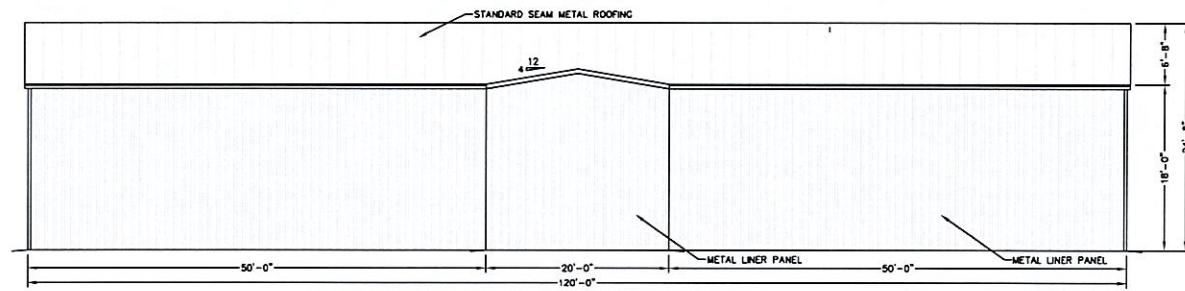
PROJ. NO. 2023-039



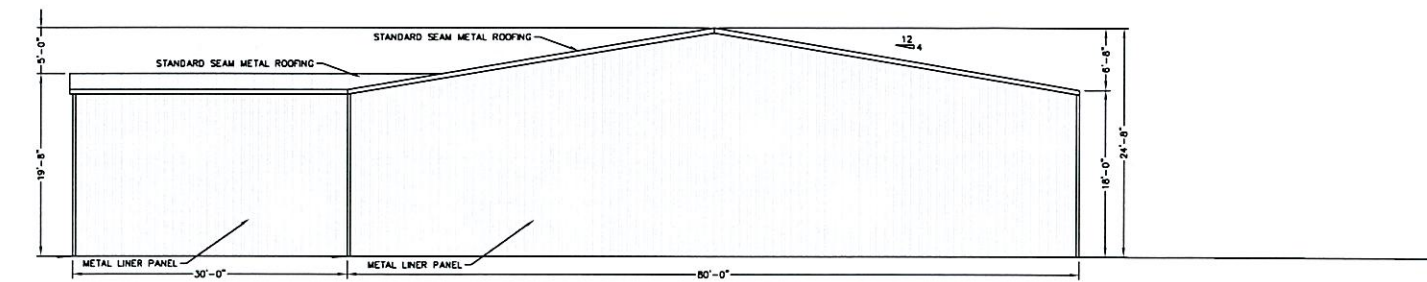
80'x120' WAREHOUSE FRONT ELEVATION
SCALE 1/8" = 1'-0"



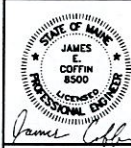
80'x120' WAREHOUSE RIGHT ELEVATION
SCALE 1/8" = 1'-0"



80'x120' WAREHOUSE REAR ELEVATION
SCALE 1/8" = 1'-0"



80'x120' WAREHOUSE LEFT ELEVATION
SCALE 1/8" = 1'-0"

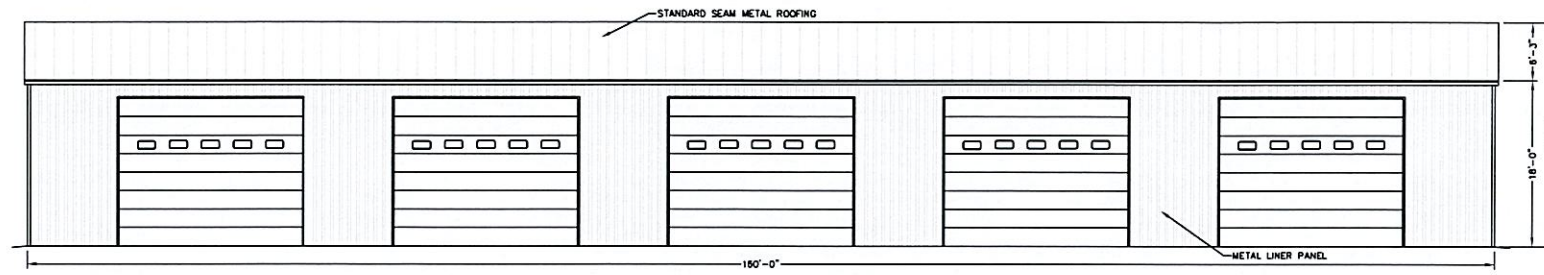


NO.	DATE	REVISION

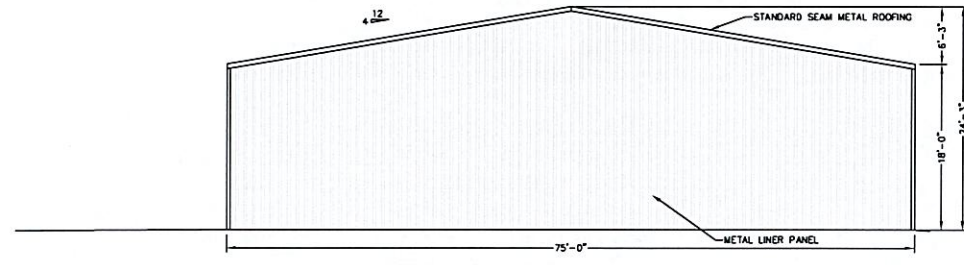
SHEET TITLE	ELEVATIONS
SCALE	1/8" = 1'-0"
DATE	NOVEMBER 11 2023
DRAWN BY	IEC
CHECKED BY	IEC

CLIENT'S PROJECT	ISLAND PROPERTIES, LLC SMOKEY'S GREATER SHOWS
LOCATION	INDUSTRIAL DRIVE KENNEBEC, MAINE

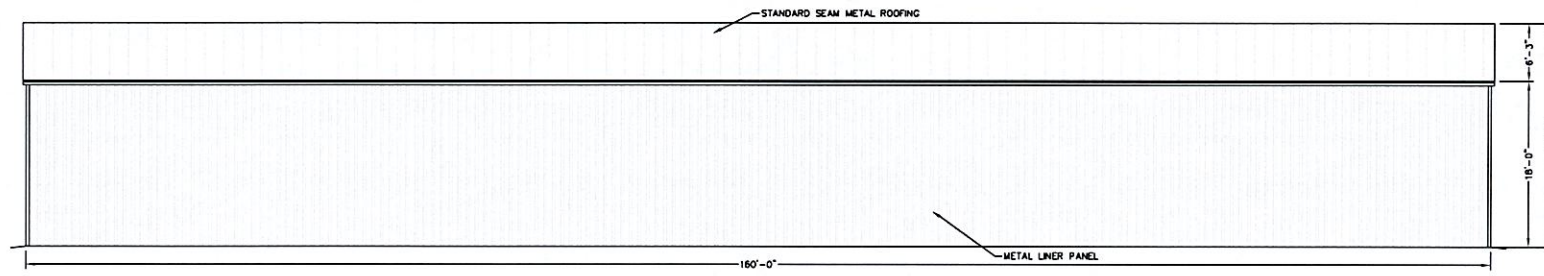
PROJ NO 2023-039
A-1



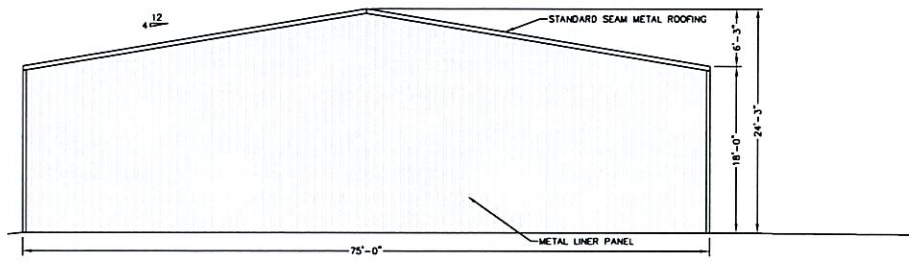
75'x160' WAREHOUSE FRONT ELEVATION
SCALE 1/8" = 1'-0"



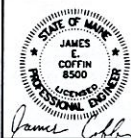
75'x160' WAREHOUSE RIGHT ELEVATION
SCALE 1/8" = 1'-0"



75'x160' WAREHOUSE REAR ELEVATION
SCALE 1/8" = 1'-0"



75'x160' WAREHOUSE LEFT ELEVATION
SCALE 1/8" = 1'-0"



NO.	DATE	REVISION

SHEET TITLE
ELEVATIONS, CONT.

CLIENT & PROJECT
ISLAND PROPERTIES, LLC
SMOKEY'S GREATER SHOWS

PROJ. NO. 2023-039

A-2

SCALE 1/8" = 1'-0"

LOCATION: INDUSTRIAL DRIVE
KENNERBEC KENNEBEC MAINE
DRAWN BY: JEC
NOVEMBER 11 2023