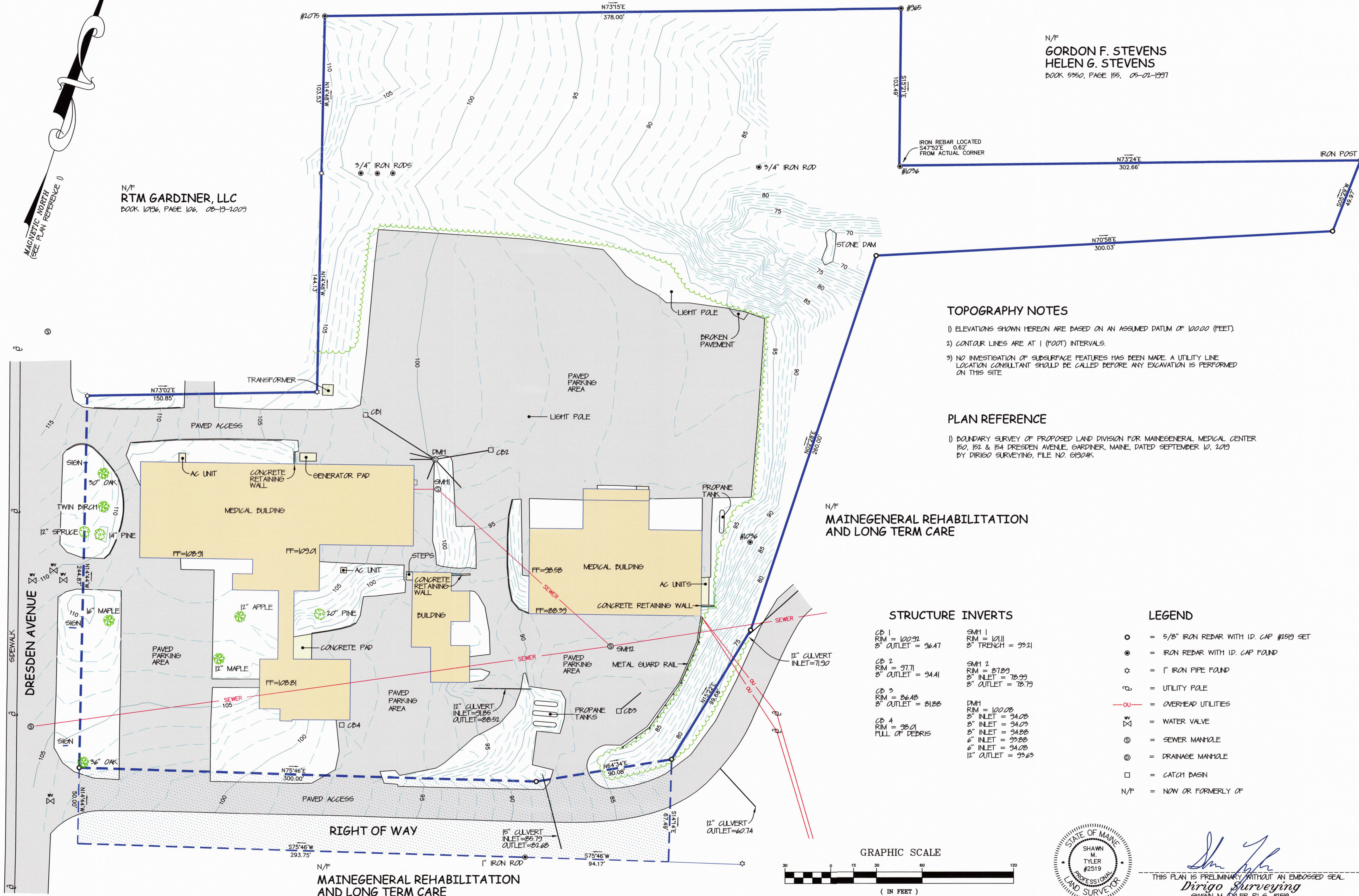
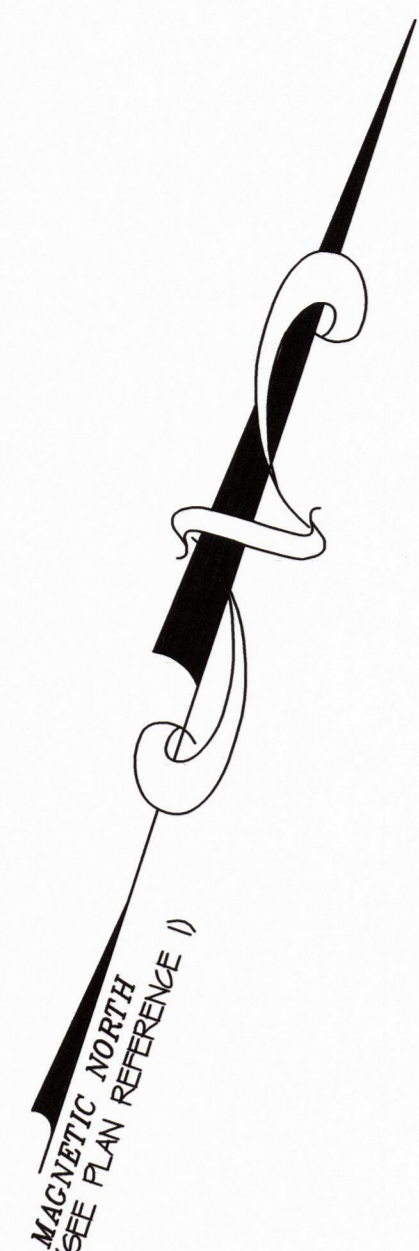


N/F
GORDON F. STEVENS
HELEN G. STEVENS
 BOOK 5950, PAGE 155, 05-01-1997

N/F
GORDON F. STEVENS
HELEN G. STEVENS
 BOOK 5950, PAGE 155, 05-01-1997

N/F
RTM GARDINER, LLC
 BOOK 10136, PAGE 106, 08-13-2009



TOPOGRAPHY NOTES

- 1) ELEVATIONS SHOWN HEREON ARE BASED ON AN ASSUMED DATUM OF 100.00 (FEET).
- 2) CONTOUR LINES ARE AT 1 (FOOT) INTERVALS.
- 3) NO INVESTIGATION OF SUBSURFACE FEATURES HAS BEEN MADE. A UTILITY LINE LOCATION CONSULTANT SHOULD BE CALLED BEFORE ANY EXCAVATION IS PERFORMED ON THIS SITE.

PLAN REFERENCE

- 1) BOUNDARY SURVEY OF PROPOSED LAND DIVISION FOR MAINEGENERAL MEDICAL CENTER 150, 152 & 154 DRESDEN AVENUE, GARDINER, MAINE, DATED SEPTEMBER 10, 2019 BY DIRIGO SURVEYING, FILE NO. 61904K

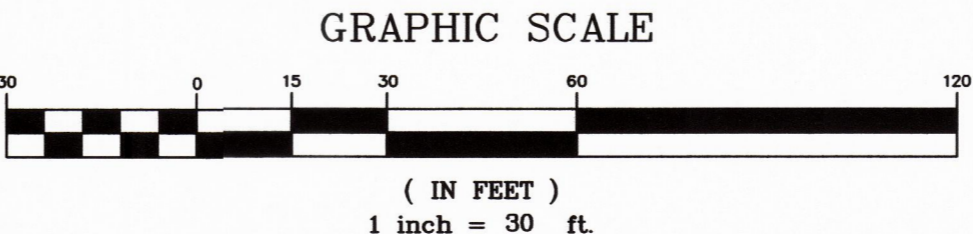
N/F
MAINEGENERAL REHABILITATION AND LONG TERM CARE

STRUCTURE INVERTS

<p>CP 1 RIM = 100.91 8" OUTLET = 96.47</p> <p>CP 2 RIM = 97.71 8" OUTLET = 94.41</p> <p>CP 3 RIM = 86.48 8" OUTLET = 81.88</p> <p>CP 4 RIM = 98.01 FULL OF DEBRIS</p>	<p>SMH 1 RIM = 101.11 8" TRENCH = 99.21</p> <p>SMH 2 RIM = 87.89 8" INLET = 78.99 8" OUTLET = 78.79</p> <p>DMH RIM = 100.08 8" INLET = 94.08 8" INLET = 94.08 6" INLET = 93.88 6" INLET = 94.08 12" OUTLET = 93.68</p>
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LEGEND

- = 5/8" IRON REBAR WITH ID. CAP #2519 SET
- = IRON REBAR WITH ID. CAP FOUND
- ☆ = 1" IRON PIPE FOUND
- ⊙ = UTILITY POLE
- OU— = OVERHEAD UTILITIES
- ⊗ = WATER VALVE
- ⊙ = SEWER MANHOLE
- ⊙ = DRAINAGE MANHOLE
- = CATCH BASIN
- N/F = NOW OR FORMERLY OF



THIS PLAN IS PRELIMINARY WITHOUT AN EMBOSSED SEAL
Shawn M. Tyler
 Dirigo Surveying
 SHAWN M. TYLER P.L.S. #2519

SHEET TITLE:
TOPOGRAPHIC SURVEY
 FOR PROPOSED DEVELOPMENT KNOWN AS GARDINER GREEN

SCALE: **1" = 30'**
 DATE: **08-02-2021**

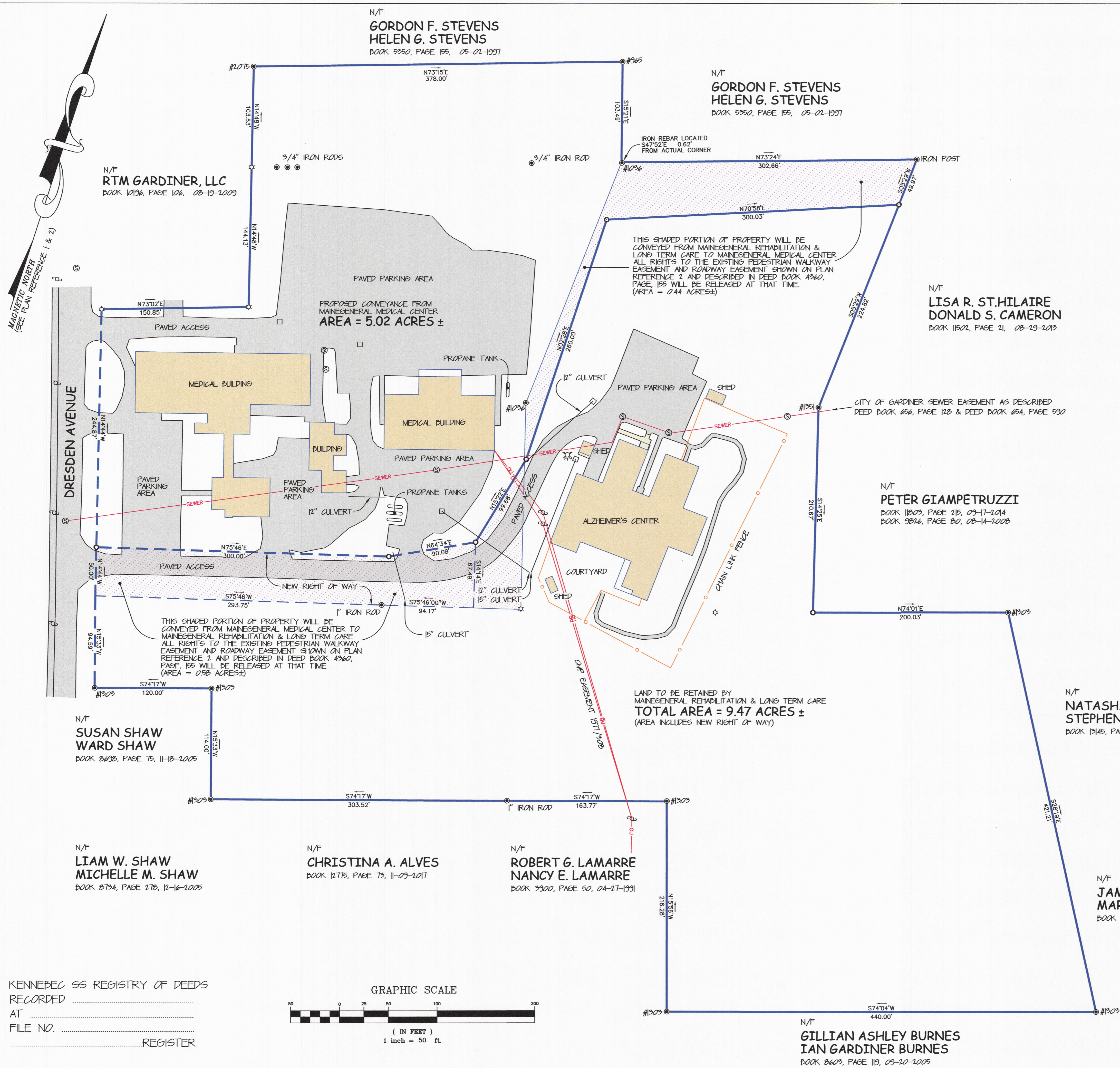
PROJECT / CLIENT:
E.S. COFFIN ENGINEERING
 PO BOX 4687
 AUGUSTA, MAINE 04330

PROJECT LOCATION:
150 DRESDEN AVENUE
 TOWN: **GARDINER**
 COUNTY: **KENNEBEC**
 STATE: **MAINE**

FILE No. 61904K
 P.L.D. BOOK No. FILE
 PLAN No. 760

TOPO

DIRIGO SURVEYING
 Winthrop, Maine 923-3443
 Land Surveying & Planning
 www.dirigosurveying.com



NOTES

- OWNERS OF RECORD:
 MANEGENERAL MEDICAL CENTER
 SOURCE DEED BOOK 4649, PAGE 109, 09-22-1995
 SOURCE DEED BOOK 3628, PAGE 52, 10-04-1989
 SOURCE DEED BOOK 2480, PAGE 249, 05-14-1984
 MANEGENERAL REHABILITATION & LONG TERM CARE
 SOURCE DEED BOOK 1913, PAGE 198, 01-21-2019
 SOURCE DEED BOOK 4360, PAGE 155, 04-08-1999
- THE PROPERTY IS SUBJECT TO AND BENEFITED BY ALL UTILITY AND DRAINAGE RIGHTS AS THEY NOW EXIST ABOVE AND BELOW GROUND.
- THE PROPERTY IS SHOWN ON TAX MAP 92 AS LOTS 23, 23A, 23B & 23C AND IS LOCATED WITHIN THE HIGH DENSITY RESIDENTIAL ZONING DISTRICT.

PLAN REFERENCE

- PLAN OF PROPERTY MADE FOR KENNEBEC VALLEY MEDICAL CENTER, GARDINER, MAINE BY DOTEN ASSOCIATES, DATED JULY 6, 1984 AND RECORDED AT THE K.C.R.D. IN PLAN BOOK 1384, PAGE 94.
- STANDARD BOUNDARY SURVEY OF ALZHEIMER PROJECT AT THE KENNEBEC VALLEY MEDICAL CENTER, GARDINER, MAINE BY MORTON & ROSE ASSOC., DATED APRIL 7, 1986 (UNRECORDED).
- STANDARD BOUNDARY SURVEY FOR KATHERINE D. ERICSON, GARDINER, MAINE BY NORTH BY EAST ASSOCIATES, DATED DECEMBER 4, 1991 (UNRECORDED).
- STANDARD BOUNDARY SURVEY FOR DRESDEN AVENUE ASSOCIATES, GARDINER, MAINE BY LIPPY ENTERPRISES, DATED MAY 22, 1988 AND RECORDED AT THE K.C.R.D. IN PLAN BOOK 1388, PAGE 238.
- BOUNDARY SURVEY WITH EXISTING CONDITIONS FOR RTM GARDINER, LLC, GARDINER, MAINE BY R.W. EATON ASSOCIATES, DATED OCTOBER 30, 2009 (UNRECORDED).

LEGEND

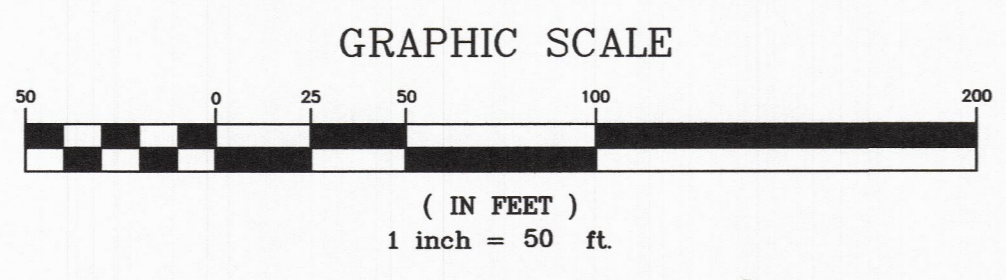
- = 5/8" IRON REBAR WITH ID. CAP #2519 SET
- = IRON REBAR WITH ID. CAP FOUND
- ☆ = 1" IRON PIPE FOUND
- ⊙ = UTILITY POLE
- OU— = OVERHEAD UTILITIES
- K.C.R.D. = KENNEBEC COUNTY REGISTRY OF DEEDS
- ⊙ = SEWER MANHOLE
- ⊕ = FIRE HYDRANT
- = CATCH BASIN
- N/F = NOW OR FORMERLY OF



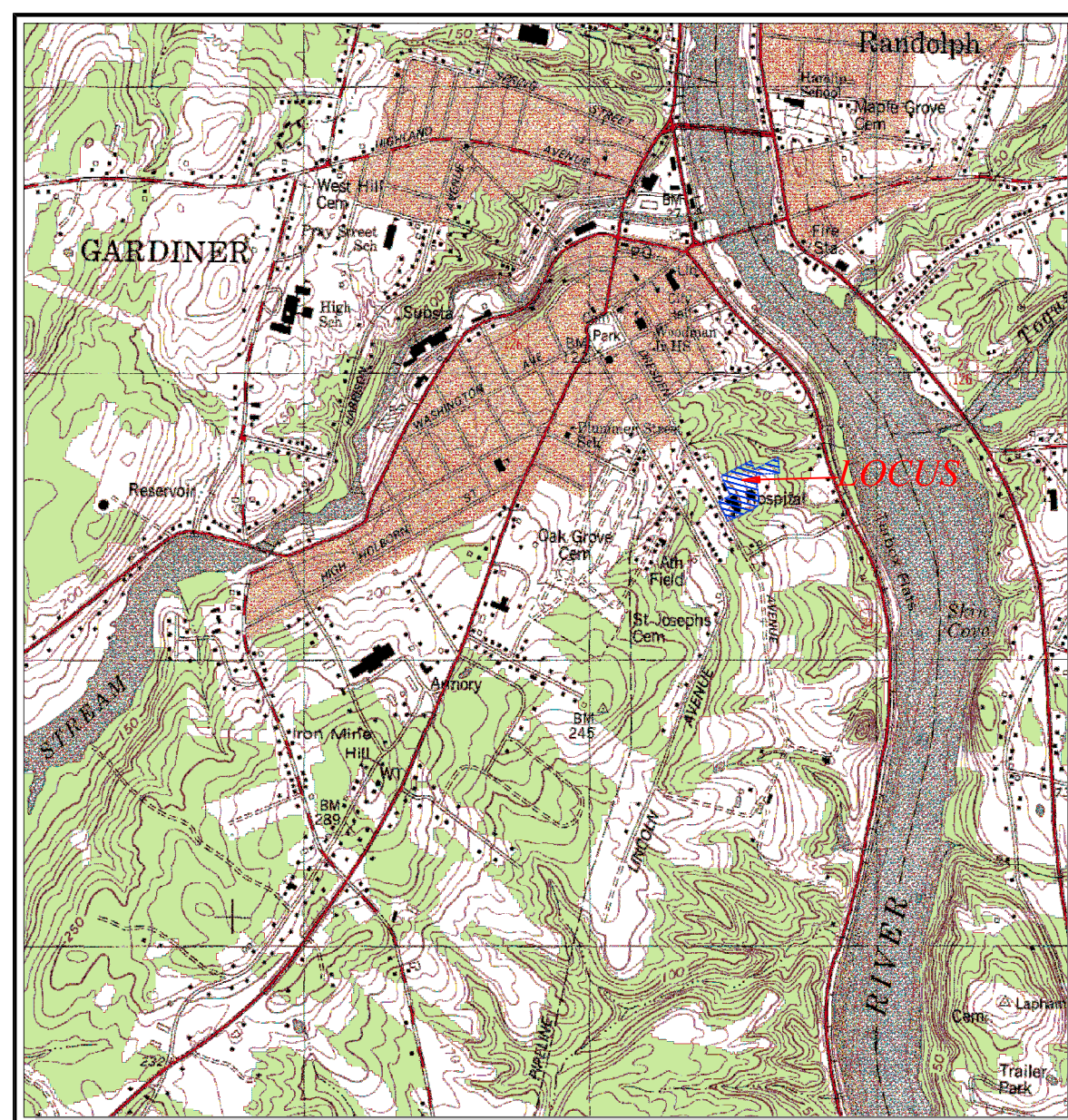
TO THE BEST OF MY KNOWLEDGE THIS SURVEY COMPLIES WITH THE MAINE STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS STANDARDS OF PRACTICE, DATED APRIL 1, 2001. EXCEPTING NO SURVEY REPORT OTHER THAN THE INFORMATION SHOWN ON THIS PLAN.

Shawn M. Tyler
 THIS PLAN IS PRELIMINARY WITHOUT AN EMBOSSED SEAL
 Dirigo Surveying
 SHAWN M. TYLER P.L.S. #2519

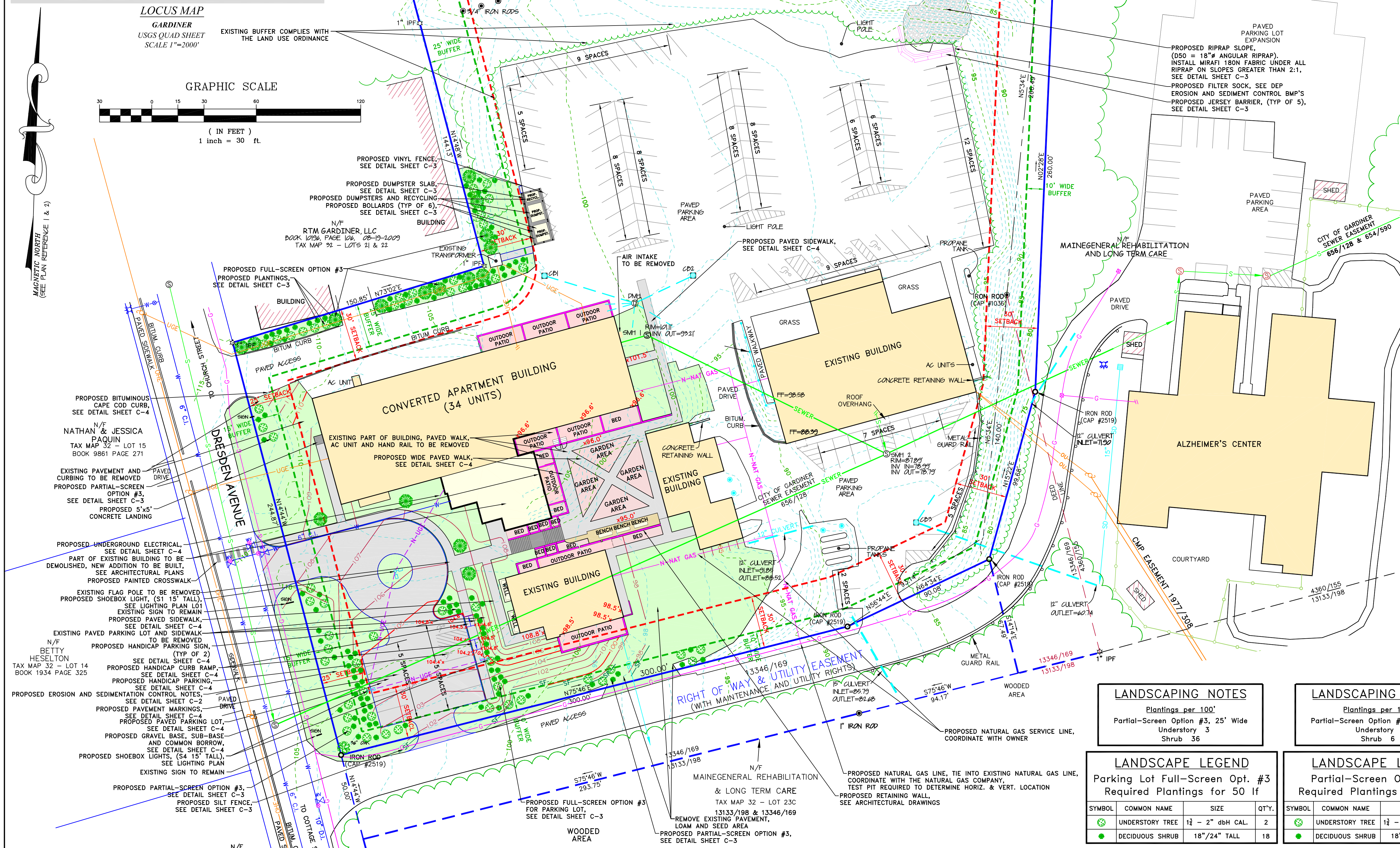
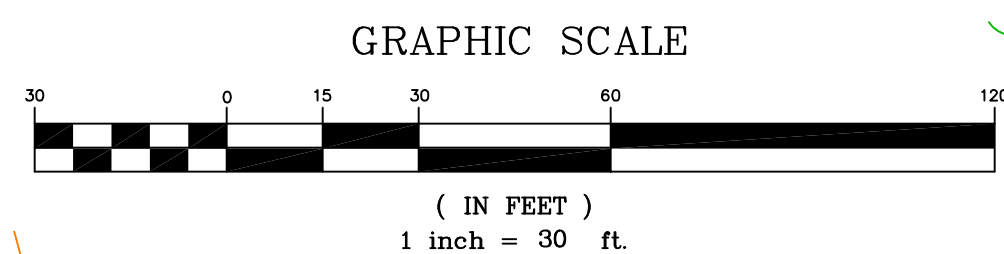
KENNEBEC SS REGISTRY OF DEEDS
 RECORDED AT FILE NO. REGISTER



0-14-2020	RECORDED THE PROPOSED CONVEYANCE AND NEW RIGHT OF WAY
SHEET TITLE:	BOUNDARY SURVEY OF PROPOSED LAND DIVISION
PROJECT / CLIENT:	MANEGENERAL MEDICAL CENTER 35 MEDICAL CENTER PARKWAY, AUGUSTA, MAINE 04330
PROJECT LOCATION:	150, 152 & 154 DRESDEN AVENUE STATE: MAINE COUNTY: KENNEBEC TOWN: GARDINER
FILE No.:	61304K
FLD. BOOK No.:	FILE
PLAN No.:	716
BS	
DIRIGO SURVEYING Winthrop, Maine 923-3443 www.dirigosurveying.com	



LOCUS MAP
GARDINER
USGS QUAD SHEET
SCALE 1"=2000'



LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- DRILL HOLE IN LEDGE
- GRANITE MONUMENT FOUND
- 5/8" REBAR PROPOSED
- 4"x4" GRANITE MONUMENT PROPOSED
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- BELOW GROUND ELECTRIC
- LIGHT
- HYDRANT
- WATER VALVE
- WELL
- MONITORING WELL
- UNDERGROUND WATER LINE
- SIGN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SURVEYED LINE
- STOCKADE FENCE
- WIRE FENCE
- GUARDRAIL
- STONE WALL
- CATCH BASIN
- STORM PIPE
- SANITARY MANHOLE
- SANITARY PUMP STATION
- SANITARY LINE
- BUFFER SETBACK
- FLAG
- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- VEGETATION
- APPROXIMATE WETLANDS

- GENERAL SITE INFORMATION:**
- OWNER: HATHAWAY HOLDINGS, LLC, 10 WATER STREET, BOX 68, WATERTVILLE, MAINE 04901
 - GARDINER TAX MAP 32 LOT 23
 - ZONING DISTRICT: HIGH DENSITY RESIDENTIAL (HDR)
 - TITLE/RIGHT/INTEREST: DEED BOOK 14210 PAGE 170 (QUIT CLAIM DEED) BOOK 14210 PAGE 174 (QUIT CLAIM DEED) BOOK 14210 PAGE 178 (ROAD MAINT. AGREEMENT)
 - LOT SIZE: 5.42 ACRES (INCLUDES THE 0.90 ACRES FROM MAINEGENERAL REHABILITATION & LONG TERM CARE)
 - DEDICATED OPEN SPACE = 56,000 SF (ALL 3 PHASES)
 - DENSITY REQUIREMENTS: 5,000 SF/UNIT (5,000 SF x 34 UNITS=170,000 SF)
 - SETBACKS: ROAD: 25'/50' SIDE & REAR: 30'
 - DWELLING UNITS: PHASE 1 DWELLING UNITS = 34 UNITS
 - PARKING: PHASE 1 REQUIRED PARKING SPACES = 68 SPACES PHASE 1 ACTUAL PARKING SPACES = 103 SPACES
 - IMPERVIOUS AREA: DECREASE OF 4,665 SF (PHASE 1)

LANDSCAPING NOTES

Plantings per 100'

Partial-Screen Option #3, 25' Wide

Understory 3

Shrub 36

LANDSCAPING NOTES

Plantings per 100'

Partial-Screen Option #3, 25' Wide

Understory 6

Shrub 6

LANDSCAPING NOTES

Plantings per 100'

Full-Screen Option #3, 25' Wide

Canopy 6

Understory 10

Shrub 20

LANDSCAPE LEGEND

Parking Lot Full-Screen Opt. #3

Required Plantings for 50 lf

SYMBOL	COMMON NAME	SIZE	QTY.
○	UNDERSTORY TREE	1 1/2 - 2" dbh CAL.	2
●	DECIDUOUS SHRUB	18"/24" TALL	18

LANDSCAPE LEGEND

Partial-Screen Option #3

Required Plantings for 400 lf

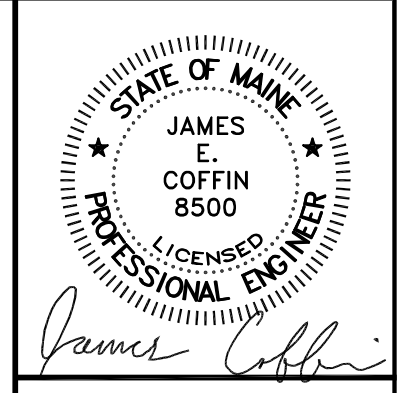
SYMBOL	COMMON NAME	SIZE	QTY.
○	UNDERSTORY TREE	1 1/2 - 2" dbh CAL.	24
●	DECIDUOUS SHRUB	18"/24" TALL	24

LANDSCAPE LEGEND

Full-Screen Option #3

Required Plantings for 200 lf

SYMBOL	COMMON NAME	SIZE	QTY.
○	CANOPY TREE	2 - 2 1/2" dbh CAL.	12
○	UNDERSTORY TREE	1 1/2 - 2" dbh CAL.	20
●	DECIDUOUS SHRUB	18"/24" TALL	40



E.S. COFFIN
ENGINEERING & SURVEYING, INC.
132 Camp Road, P.O. Box 4887, Augusta, Maine 04330
Ph: (207) 625-9473 Fax: (207) 625-9012 Toll Free: 1-800-244-0473

NO.	REVISIONS	DATE

PHASE I SITE PLAN

SCALE: 1 INCH=30 FEET

DRAWN BY: TCH
CHECKED BY: JEC

DATE: FEBRUARY 10, 2022

HATHAWAY HOLDINGS, LLC.

CLIENT PROJECT: HATHAWAY HOLDINGS, LLC.

LOCATION: 150 DRESDEN AVENUE

TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE

PROJ. NO. 2020-174

C-1.1

EROSION AND SEDIMENTATION NOTES:

1. CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICES OF THE KENNEBEC COUNTY SOIL CONSERVATION SERVICE AND THE MAINE DEP BEST MANAGEMENT PRACTICES HANDBOOK.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES:

EROSION/SEDIMENT CONTROL DEVICES:

THE FOLLOWING EROSION SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.

- 1. **SILT FENCE:** SILT FENCE WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SILT FENCE WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SILT FENCE AND TO PROVIDE ADDITIONAL TREATMENT.
2. **STONE CHECK DAMS:** STONE CHECK DAMS ARE TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE STONE CHECK DAMS IN FLOWING WATER OR STREAMS.
3. **RIPRAP:** PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
4. **LOAM, SEED, & MULCH:** ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED ARE THE END OF THIS SPECIFICATION.
5. **STRAW AND HAY MULCH:** USED TO COVER DENUDE AREA UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY. CURLEX II AND EXCELSIOR MAY BE USED IN PLACE OF JUTE MESH OVER MULCH.
6. **MULCH NETTING:** SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.

TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES:

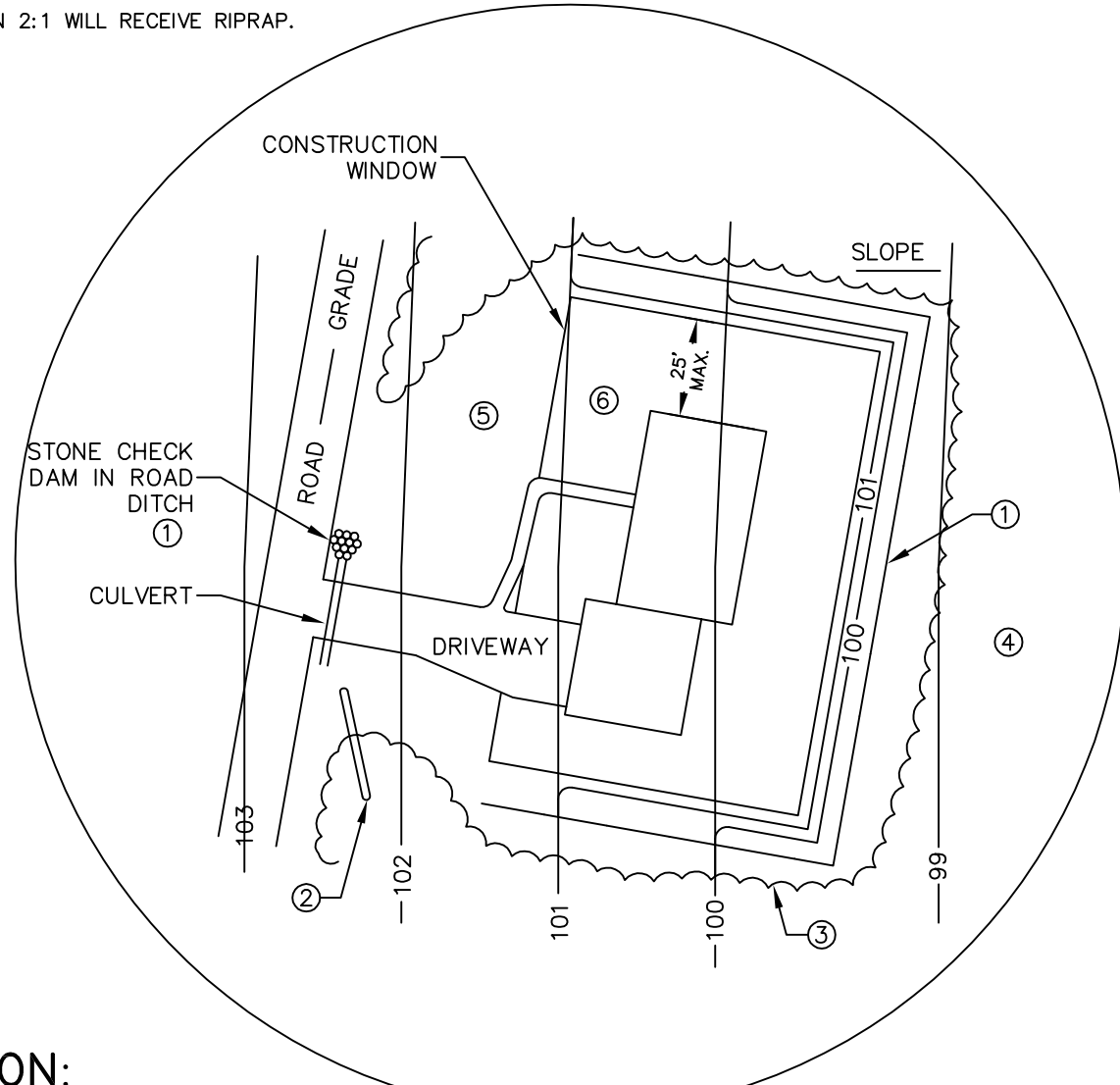
PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:

- 1. SILTATION FENCE ALONG THE DOWN GRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SILTATION FENCE WILL REMAIN IN PLACE UNTIL THE SITE IS 85% REVEGETATED.
2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SILT FENCE.
3. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
(A) SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
(B) AVOID PLACING TEMPORARY STOCKPILES IN AREA WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES. SEE ITEM 3 IN CONSTRUCTION PHASE NOTES BELOW.
(C) THE CONTRACTOR MUST STABILIZE SOIL AND FILL STOCKPILES WITHIN 7 DAYS PRIOR TO ANY RAINFALL.
(D) SURROUND STOCKPILE SOIL WITH SILTATION FENCE AT BASE OF PILE.
4. ALL DENUDE AREA WHICH HAVE BEEN ROUGH GRADED AND ARE NOTE LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 7 DAYS OF INITIAL DISTURBANCE OF SOIL IN ANY AREA OR WITHIN 7 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS IN ANY AREA, OR PRIOR TO ANY RAINFALL. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOIL WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, IS NOT REQUIRED.
5. IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENUDE AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 1 DAY MAXIMUM FOR WORK COMPLETED BETWEEN OCTOBER 15TH AND APRIL 15TH.
6. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

PERMANENT EROSION CONTROL MEASURES:

THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/ SEDIMENTATION CONTROL PLAN:

- 1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.
2. SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP.



INSTALLATION:

- 1. INSTALL SEDIMENT BARRIERS ON YOUR SITE BEFORE DISTURBING SOILS. SEE THE "SEDIMENT BARRIERS" MEASURE FOR DETAILS ON INSTALLATION AND MAINTENANCE.
2. CONSTRUCT A DIVERSION DITCH TO KEEP UPSLOPE RUNOFF OUT OF WORK AREA.
3. MARK CLEARING LIMITS ON THE SITE TO KEEP EQUIPMENT OUT OF AREAS WITH STEEP SLOPES, CHANNELIZED FLOW, OR ADJACENT SURFACE WATERS AND WETLANDS.
4. PRESERVE BUFFERS BETWEEN THE WORK AREA AND ANY DOWNSTREAM SURFACE WATERS AND WETLANDS. SEE THE "BUFFERS" MEASURE FOR BUFFER PRESERVATION.
5. USE TEMPORARY MULCH AND RYE-SEED TO PROTECT DISTURBED SOIL OUTSIDE THE ACTIVE CONSTRUCTION AREA. SEE THE "MULCHING" MEASURE AND "VEGETATION" MEASURE FOR DETAILS AND SPECIFICATIONS FOR THESE CONTROLS.
6. PERMANENTLY SEED AREAS NOT TO BE PAVED WITHIN SEVEN DAYS OF COMPLETING FINAL GRADING. SEE "VEGETATION" MEASURE FOR INFORMATION ON PROPER SEEDING.

MAINTENANCE:

EVERY MONTH THE FIRST YEAR AFTER CONSTRUCTION AND YEARLY THEREAFTER, INSPECT FOR AREAS SHOWING EROSION OR POOR VEGETATION GROWTH. FIX THESE PROBLEMS AS SOON AS POSSIBLE. EACH SPRING REMOVE ANY ACCUMULATION OF DEBRIS OR WINTER SAND THAT WOULD IMPEDE RUNOFF FROM ENTERING A BUFFER OR DITCH.

HOUSE SITE - BEST MANAGEMENT PRACTICES

NOT TO SCALE

CONSTRUCTION PHASE:

THE FOLLOWING PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.

- 1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 7 DAYS, SEE ITEM NO. 4.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC ARE, SILT FENCING AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPE AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION. IMMEDIATELY FOLLOWING CONSTRUCTION OF CULVERTS AND SWALES, RIP RAP APRONS SHALL BE INSTALLED, AS SHOWN ON THE PLANS.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THEN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SILTATION FENCE BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 15 DAYS SHALL BE:
(A) ALL STOCKPILES ANTICIPATED TO REMAIN IN PLACE FOR LESS THAN 30 DAYS SHALL BE TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL), OR PRIOR TO ANY RAINFALL OR COVERED WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
(B) ALL STOCKPILES ANTICIPATED TO REMAIN IN PLACE LONGER THAN 30 DAYS SHALL BE SEEDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LB/1,000 SQ. FT.) AND MULCHED WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL OR COVERED WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
(C) INSTALL SILT FENCE AROUND STOCKPILE AT BASE OF PILE, STOCKPILES TO HAVE SILT FENCE INSTALLED AT TIME ESTABLISHMENT AT BASE OF PILE.
4. DISTURBED AREAS:
(A) DISTURBED AREAS ANTICIPATED REMAINING UNDISTURBED FOR LESS THAN 30 DAYS UNTIL PERMANENTLY STABILIZED SHALL BE TREATED WITH ANCHORED MULCH WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
(B) DISTURBED AREAS ANTICIPATED TO REMAIN UNDISTURBED FOR MORE THAN 30 DAYS UNTIL PERMANENTLY STABILIZED SHALL BE TREATED SEEDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS/1,000 SQ. FT.) AND MULCHED AT A RATE OF 150 LB. PER 1000 S.F. WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH STONE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.) ALL SLOPES HAVING A GRADE GREATER THAN 8% WILL BE STABILIZED WITH RIP RAP OR PERMANENT SEEDING WITHIN 5 DAYS OF COMPLETING THE SLOPES FINAL GRADING.
6. THE CONTRACTOR SHALL WITHIN 24 HOURS OF PLACING A CULVERT PLACE STONE RIP RAP, APRON OR PLUNGE POOL, AT THE CULVERTS OUTLET. ALL CULVERTS WILL BE PROTECTED WITH STONE RIP RAP (D50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.
7. ANY DITCH SECTION BROUGHT TO FINAL GRADE WILL BE STABILIZED WITH RIP RAP LINED OR PROPERLY INSTALLED EROSION CONTROL BLANKETS (USED OVER PERMANENT SEEDING) WITHIN 5 DAYS.

POST-CONSTRUCTION REVEGETATION:

THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

- 1. A MINIMUM OF 4" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1,000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1,000 SQ. FT. WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:
LAWN
KENTUCKY BLUEGRASS 0.46 LBS/1,000 S.F.
CREeping RED FESCUE 0.46 LBS/1,000 S.F.
PERENNIAL RYE GRASS 0.11 LBS/1,000 S.F.
SWALES
RED TOP 0.05 LBS/1,000 S.F.
TALL FESCUE 0.46 LBS/1,000 S.F.
3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
(A) HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
1. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
2. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
3. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
(B) HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
(A) ONLY UNFROZEN LOAM SHALL BE USED.
(B) LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
(C) WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1,000 SQ. FT.) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
(D) WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1,000 SQ.FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
(E) FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
(F) ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.
5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. THE CONTRACTOR WILL CARRY OUT RESEEDING WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE:

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

- 1. HAY BALE BARRIERS, SILT FENCE, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREA UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SILT FENCE BEHIND THE HAY BALES.
2. VISUALLY INSPECT RIP RAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEED AS NEEDED. EXPOSED AREAS WILL BE RESEED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIP RAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

EROSION CONTROL DURING WINTER CONSTRUCTION:

- 1. WINTER CONSTRUCTION PRIOR: NOVEMBER 1 THROUGH APRIL 15.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ATE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH TAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1,000 B.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ANCHORED SUCH TAT SOIL SURFACE IS NOT VISIBLE THROUGH THEIR MULCH. NOTE: AN AREA TO BE USED AS A ROAD OR VEHICLE PARKING LOT IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH COMPACTED GRAVEL SUBBASE OR COMPACTED STRUCTURAL SAND.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS EITHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SILT FENCE OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS ABOVE 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.
8. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1 THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
9. WINTER RYE IS RECOMMENDED FOR STABILIZATION UNTIL OCTOBER 1ST. AFTER OCTOBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
10. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

GUIDELINES FOR STABILIZING SITES FOR THE WINTER:

- 1. STANDARD FOR THE TIMELY STABILIZATION OF DITCHES AND CHANNELS. THE CONTRACTOR WILL CONSTRUCT AND STABILIZE ALL STONE-LINED DITCHES AND CHANNELS ON THE SITE BY NOVEMBER 15TH. THE CONTRACTOR WILL CONSTRUCTION AND STABILIZE ALL GRASS-LINED DITCHES AND CHANNELS ON THE SITE BY SEPTEMBER 1ST. IF THE CONTRACTOR FAILS TO STABILIZE A DITCH OR CHANNEL TO BE GRASS-LINED BY SEPTEMBER 1ST, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER.
(A) INSTALL A SOD LINING IN THE DITCH: THE CONTRACTOR WILL LINE THE DITCH WITH PROPERLY INSTALLED SOD BY OCTOBER 1ST. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.
(B) INSTALL A STONE LINING IN THE DITCH: THE CONTRACTOR WILL LINE THE DITCH WITH STONE RIP RAP BY NOVEMBER 15TH. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE AND LINE THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE CONTRACTOR WILL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING SO AS TO PREVENT THE STONE LINING FORM REDUCING THE DITCH'S CROSS-SECTIONAL AREA.
2. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES: THE CONTRACTOR WILL CONSTRUCT AND STABILIZE STONE COVERED SLOPES BY NOVEMBER 15. THE CONTRACTOR WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 1. THE DEPARTMENT WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.
(A) STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF WOOD-WASTE COMPOST AS DESCRIBED IN ITEM 3 OF THIS STANDARD OR WITH STONE RIP RAP AS DESCRIBED IN ITEM 4 OF THIS STANDARD.
(B) STABILIZE THE SLOPE WITH SOD: THE CONTRACTOR WILL STABILIZE THE DISTURBED SLOPE WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES: THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
(C) STABILIZE THE SLOPE WITH WOOD-WASTE COMPOST: THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD-WASTE COMPOST ON THE SLOPE BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE WOOD-WASTE COMPOST TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H: 1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
(D) STABILIZE THE SLOPE WITH STONE RIP RAP: THE CONTRACTOR WILL PLACE A LAYER OF STONE RIP RAP ON THE SLOPE BY NOVEMBER 15. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIP RAP.
3. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS: BY SEPTEMBER 15 THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON THE SITE. IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.
(A) STABILIZE THE SOIL WITH TEMPORARY VEGETATION: BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET, LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS T COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN THE CONTRACTOR WILL MULCH THE AREA FOR OVER PROTECTION AS DESCRIBED IN ITEM 3 OF THIS STANDARD.
(B) STABILIZE THE SOIL WITH SOD: THE CONTRACTOR WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PRONTO ROOT GROWTH INTO THE DISTURBED SOIL.
(C) STABILIZE THE SOIL WITH MULCH: BY NOVEMBER 15 THE CONTRACTOR WILL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, THE CONTRACTOR WILL ANCHOR THE MULCH WITH NETTING OR OTHER METHOD TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

SITE INSPECTION AND MAINTENANCE:

- 1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (85% GRASS GATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.
3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER, TOWN OR THEIR DESIGNER.

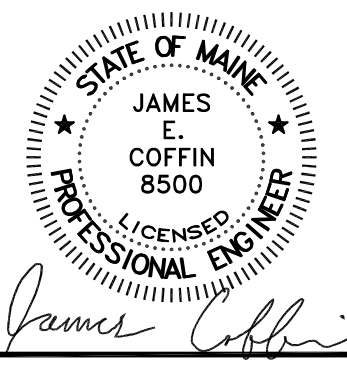


Table with 2 columns: REVISIONS, DATE. Multiple empty rows for recording revisions.

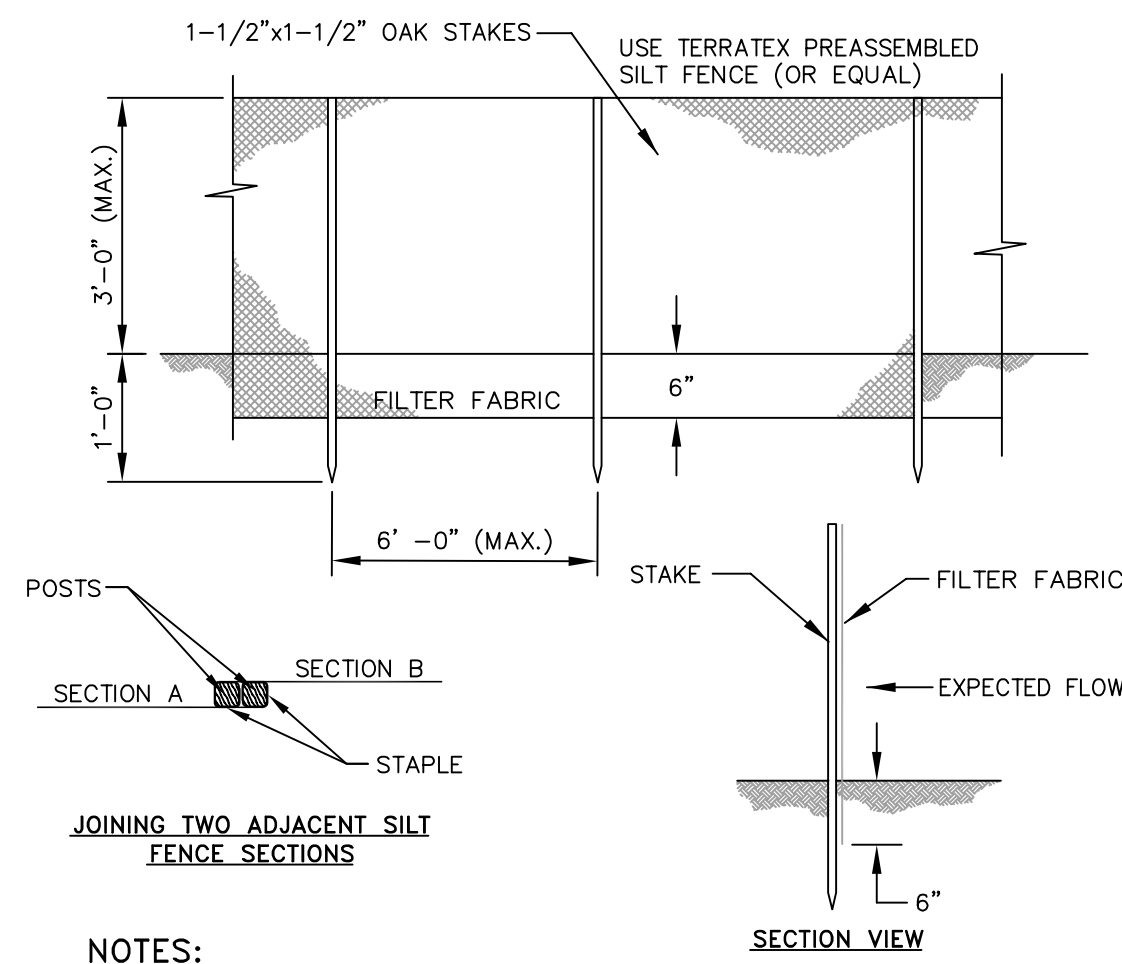
DETAILS I

SCALE: AS SHOWN

CUSTOMER: HATHAWAY HOLDINGS, LLC
LOCATION: 150 DRESDEN AVENUE
TOWN: GARDNER COUNTY: KENNEBEC STATE: MAINE
DRAWN BY: TCH
CHECKED BY: JEC
DATE: FEBRUARY 10, 2022

PROJ. NO. 2020-174

C-2



NOTES:

SILT FENCE AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

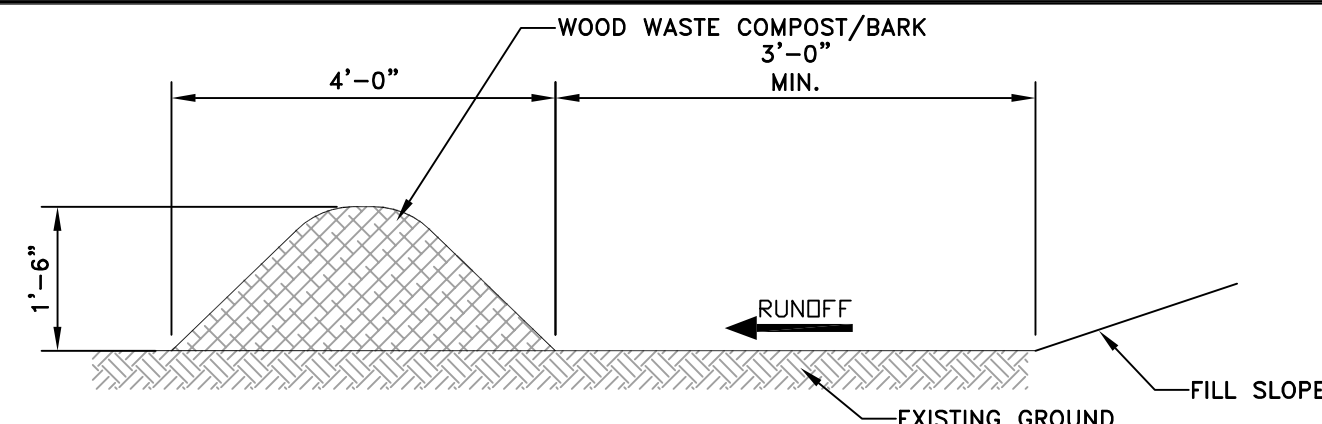
SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SILT FENCE DETAIL

NOT TO SCALE



WOOD WASTE COMPOST/BARK FILTER BERMS

THE FILTER BERM SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER-FLUME LOG HANDLING SYSTEMS. COMPOSTED MIXES CAN BE USED UPON APPROVAL OF THE OFFICE OF ENVIRONMENTAL SERVICES LANDSCAPE UNIT.

THE MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:

- A. MOISTURE CONTENT - 30-60%
- B. pH - 5.0-8.0
- C. SCREEN SIZE - 100% LESS THAN 3", MAXIMUM 70% LESS THAN 1".
- D. NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION
- E. NO STONES LARGER THAN 2" IN DIAMETER

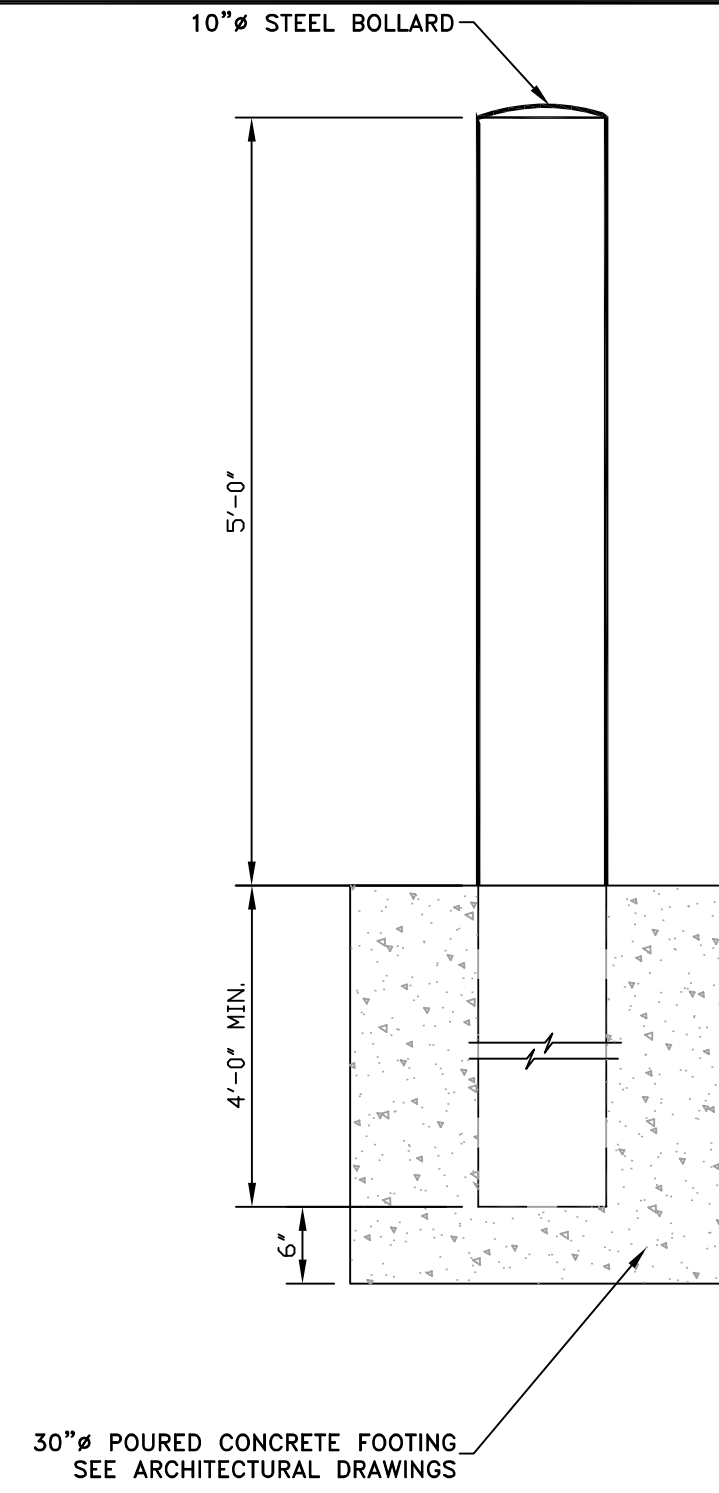
THE COMPOSTED BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.

NOTE:

WOOD WASTE COMPOST/BARK FILTER BERMS MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE WOOD WASTE COMPOST/BARK BERM BY LARGER SEDIMENT PARTICLES. (SILT FENCE PLACED TO FILTER RUNOFF BEFORE WOOD WASTE COMPOST/BARK)

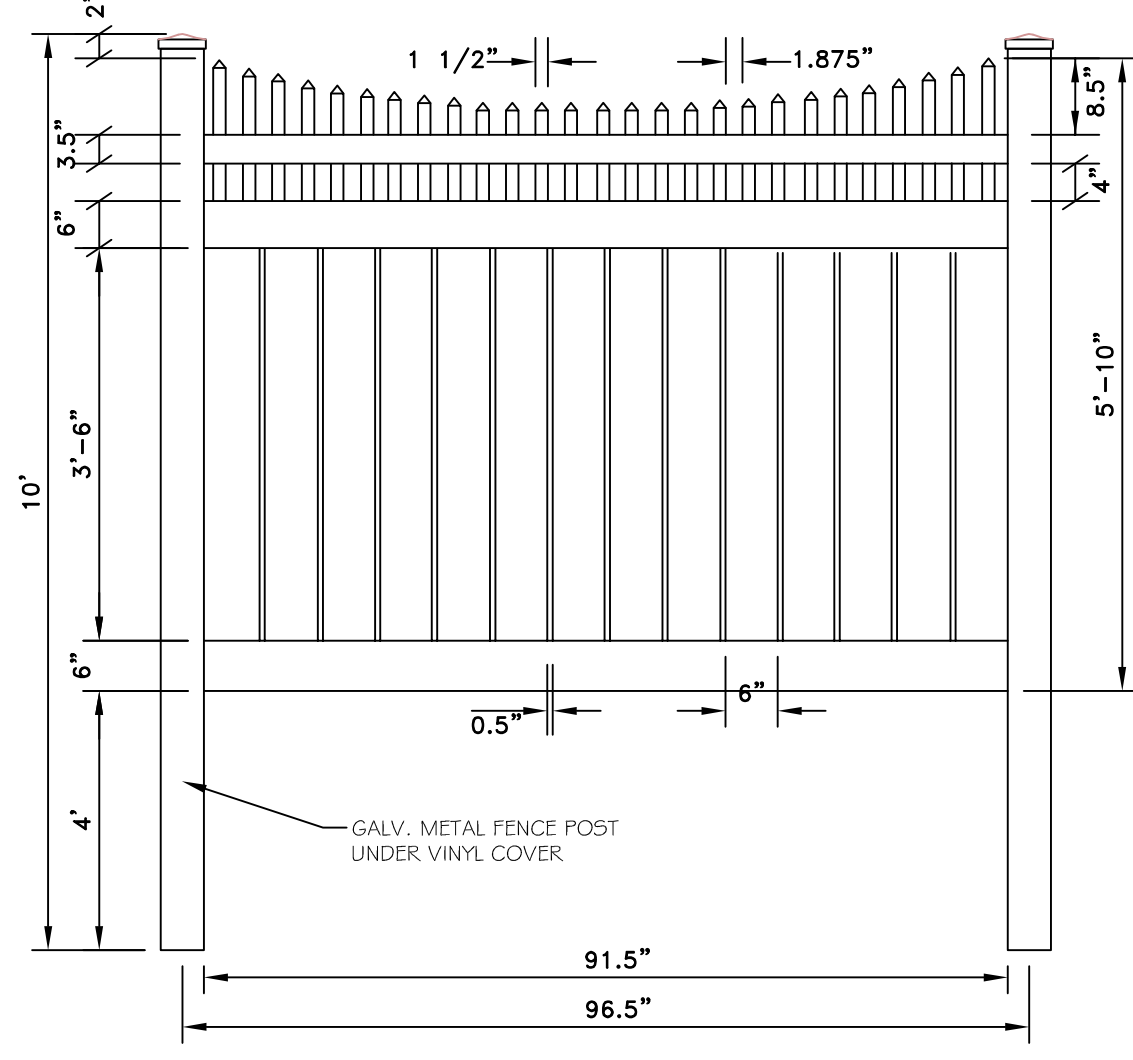
WOOD WASTE COMPOST/BARK FILTER BERM ALTERNATIVE

NOT TO SCALE



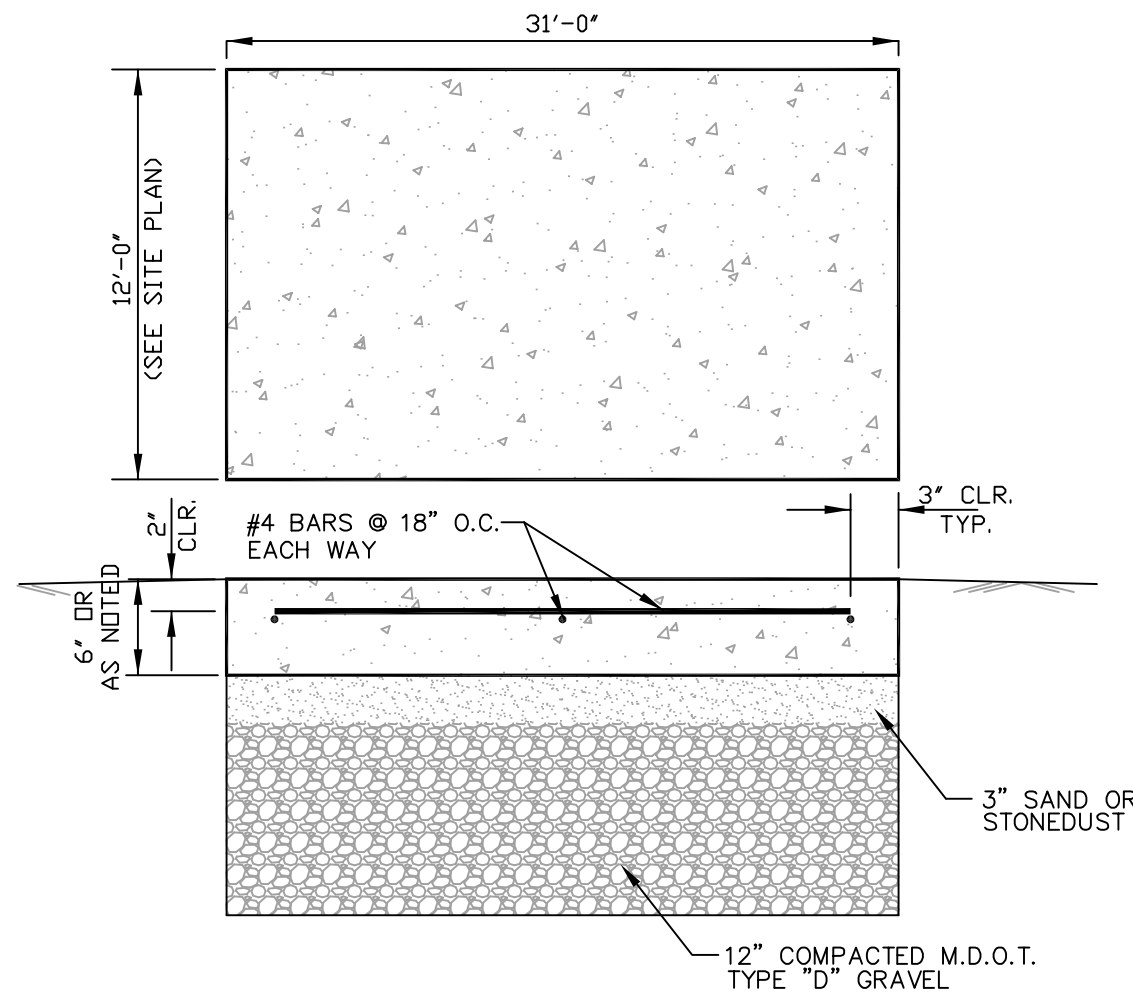
BOLLARD DETAIL

NOT TO SCALE



VINYL FENCE DETAIL

NOT TO SCALE

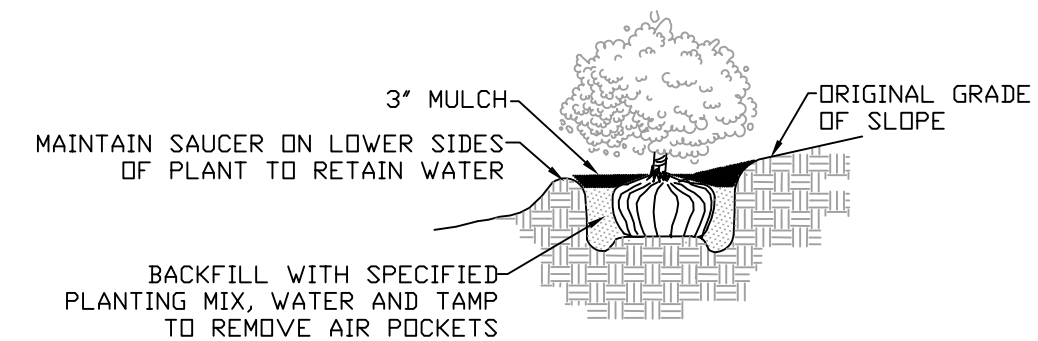


CONCRETE SPECIFICATION:

- 4000 P.S.I.
- 3/4" STONE
- 6% AIR ENTRANEMENT
- SLUMP = 3" ± 1"
- FINE BROOM FINISH

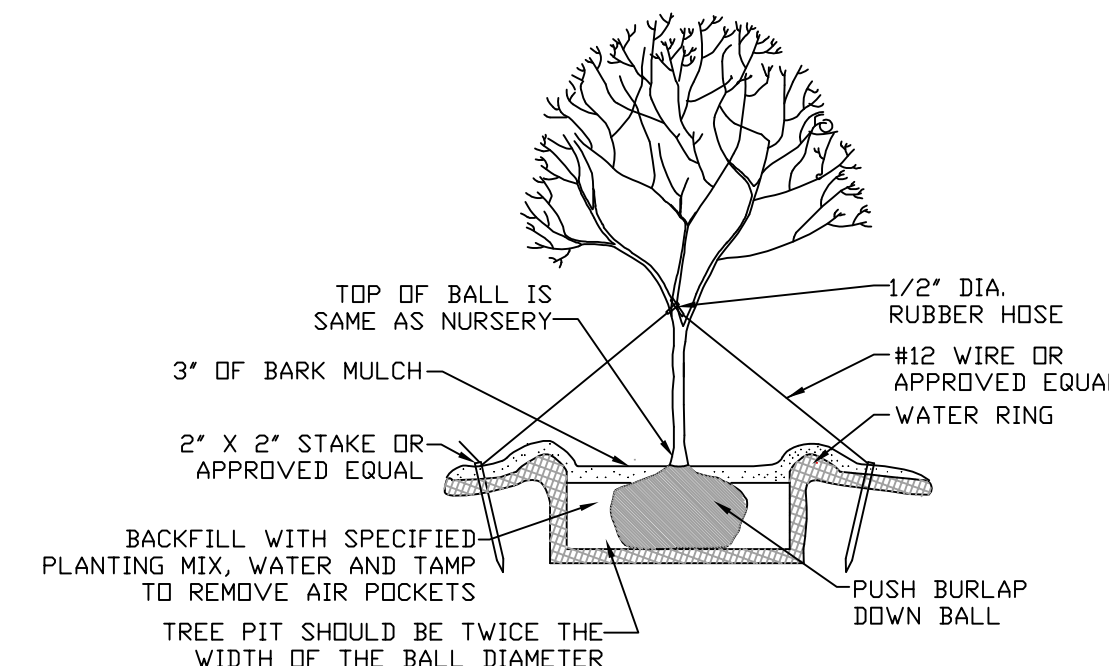
TYPICAL DUMPSTER SLAB DETAIL

NOT TO SCALE



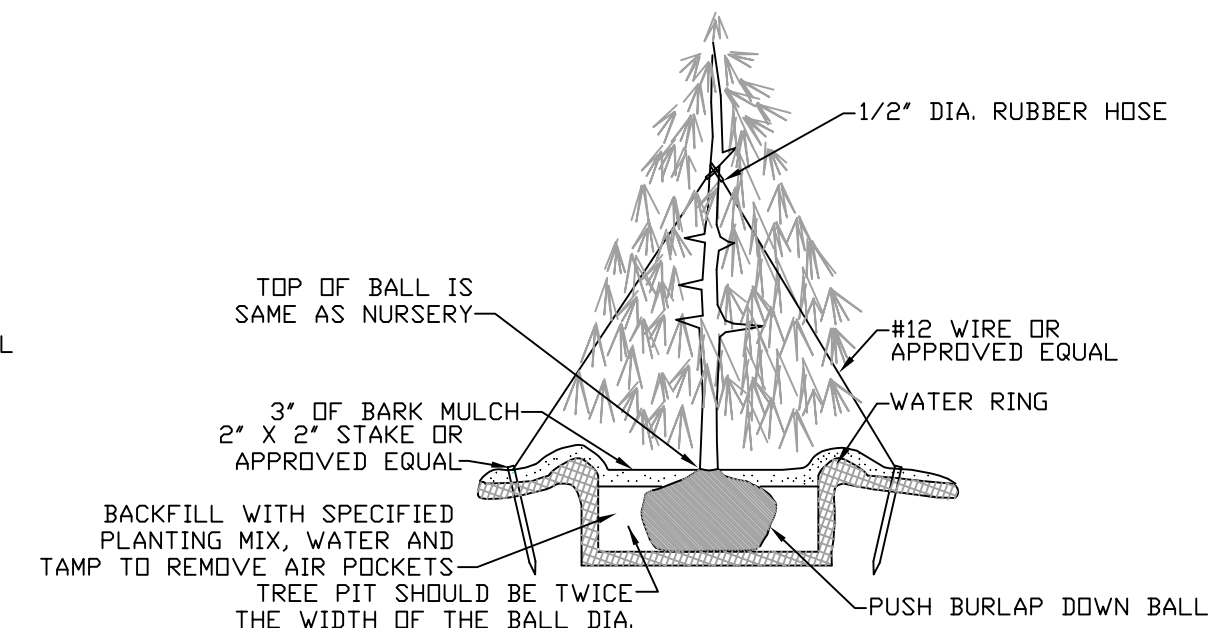
SHRUB PLANTING ON SLOPES

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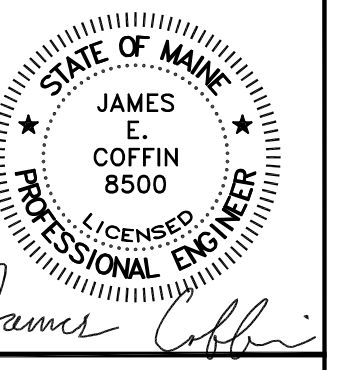
DECIDUOUS TREE PLANTING

NOT TO SCALE



CONIFEROUS TREE PLANTING

NOT TO SCALE



NO.	REVISIONS	DATE

SHEET TITLE:	DETAILS II
	SCALE: AS SHOWN
CLIENT/PROJECT:	HATHAWAY HOLDINGS, LLC
LOCATION:	150 DRESDEN AVENUE
TOWN:	GARDNER
COUNTY:	KENNEBEC
STATE:	MAINE
DRAWN BY:	TGH
CHECKED BY:	JEC
DATE:	FEBRUARY 10, 2022
PROJ. NO.:	2020-174

C-3

GENERAL NOTES

1. AGGREGATE FOR GRAVEL BASE

AGGREGATE FOR GRAVEL BASE SHALL BE SCREENED OR CRUSHED GRAVEL OF HARD DURABLE PARTICLES FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES. THE GRADATION OF THE PART THAT PASSES A 3 INCH SIEVE SHALL MEET THE GRADING REQUIREMENTS OF THE FOLLOWING TABLE:

SIEVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING SQUARE MESH SIEVES		
	TYPE "A" AGGREGATE	TYPE "D" AGGREGATE	STRUCTURAL FILL
2" / 3" / 4"	100 (2")	100 (3")	100 (4")
1/2 INCH	45-70	35-80	90-100
1/4 INCH	30-55	25-65	25-90
No. 40	0-20	0-30	0-30
No. 200	0-6	0-7	0-5

TYPE "A" AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 2 INCH SQUARE MESH SIEVE.

TYPE "D" AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 6 INCH SQUARE MESH SIEVE.

EACH LAYER AS APPLIED SHALL BE ROLLED WITH A 20 TON ROLLER. THE MATERIAL AS SPREAD SHALL BE WELL MIXED WITH NO POCKETS OF EITHER FINE OR COARSE MATERIAL. OVER SIZED STONES SHALL BE REMOVED FROM THE AGGREGATE.

EACH LAYER OF AGGREGATE SHALL BE PLACED OVER THE FULL WIDTH OF THE SECTION. AGGREGATE BASE AND SUB-BASE COURSES MAY BE PLACED UPON FROZEN SURFACES WHEN SUCH SURFACES HAVE BEEN PROPERLY CONSTRUCTED.

THE SURFACE OF EACH LAYER SHALL BE MAINTAINED DURING COMPACTION OPERATIONS IN SUCH A MANNER THAT A UNIFORM TEXTURE IS PRODUCED AND THE AGGREGATE IS FIRMLY KEVED. THE MOISTURE CONTENT OF THE MATERIAL SHALL BE MAINTAINED AT THE PROPER PERCENT TO ATTAIN THE REQUIRED COMPACTION AND STABILITY. COMPACTION OF EACH LAYER SHALL BE CONTINUED UNTIL DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 MODIFIED PROCTOR DENSITY HAS BEEN ACHIEVED FOR THE FULL WIDTH AND DEPTH OF EACH LAYER AS APPLIED.

THE SURFACE TOLERANCE OF EACH BASE COURSE AS APPLIED SHALL BE 3/8 INCHES ABOVE OR BELOW THE REQUIRED TEMPLATE LINES.

2. AGGREGATE FOR SUB-BASE

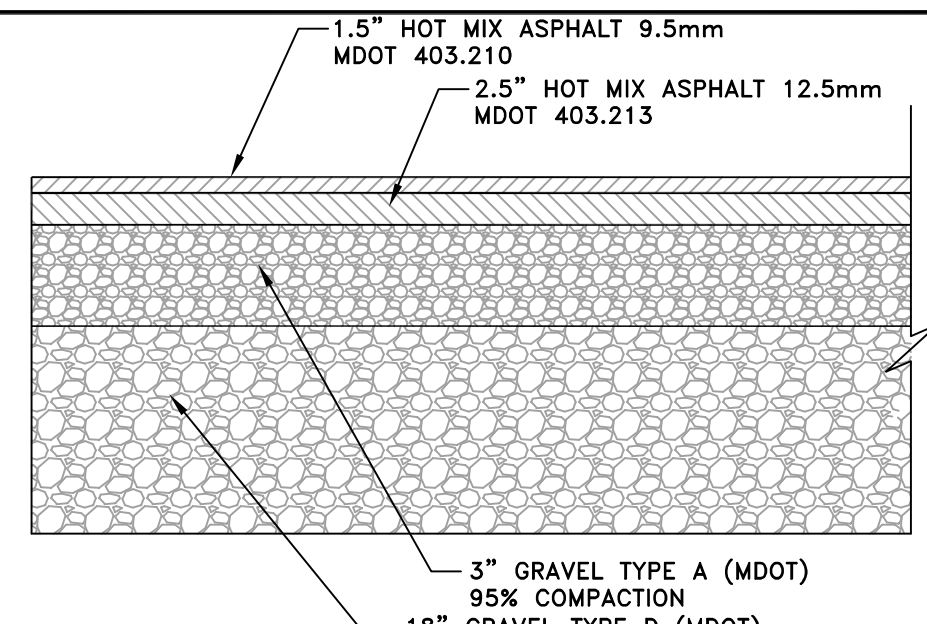
AGGREGATE FOR SUB-BASE SHALL BE TYPE "D" (MDOT). IT SHALL BE FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES.

3. COMMON BORROW

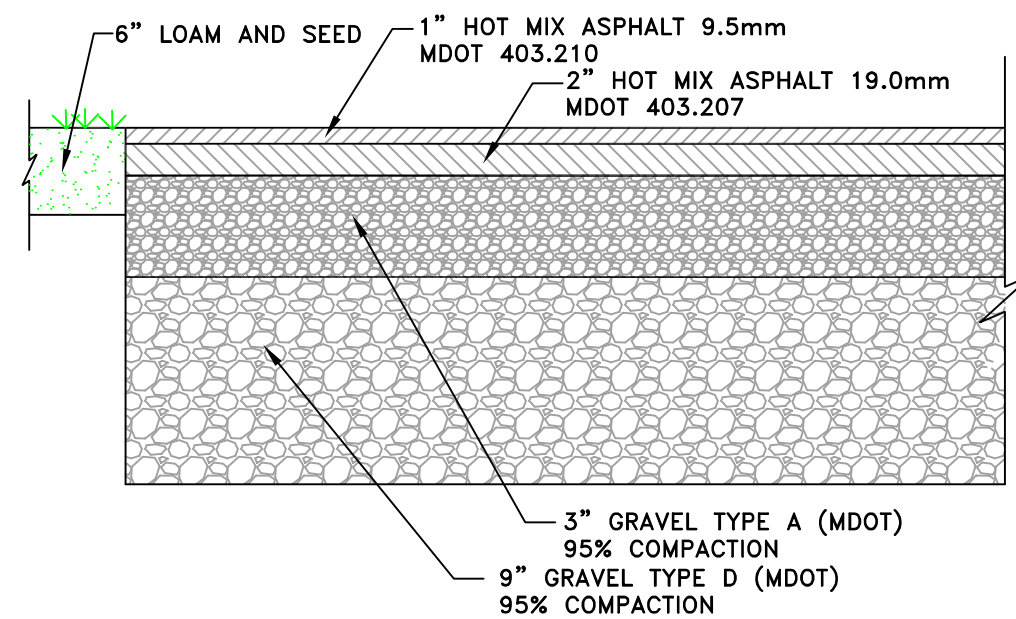
COMMON BORROW SHALL CONSIST OF EARTH, SUITABLE FOR EMBANKMENT CONSTRUCTION. IT SHALL BE FREE FROM FROZEN MATERIAL, PERISHABLE RUBBISH, PEAT AND OTHER UNSUITABLE MATERIAL.

THE MOISTURE CONTENT SHALL BE SUFFICIENT TO PROVIDE THE REQUIRED COMPACTION AND STABLE EMBANKMENT. IN NO CASE SHALL THE MOISTURE CONTENT EXCEED 4 PERCENT ABOVE OPTIMUM.

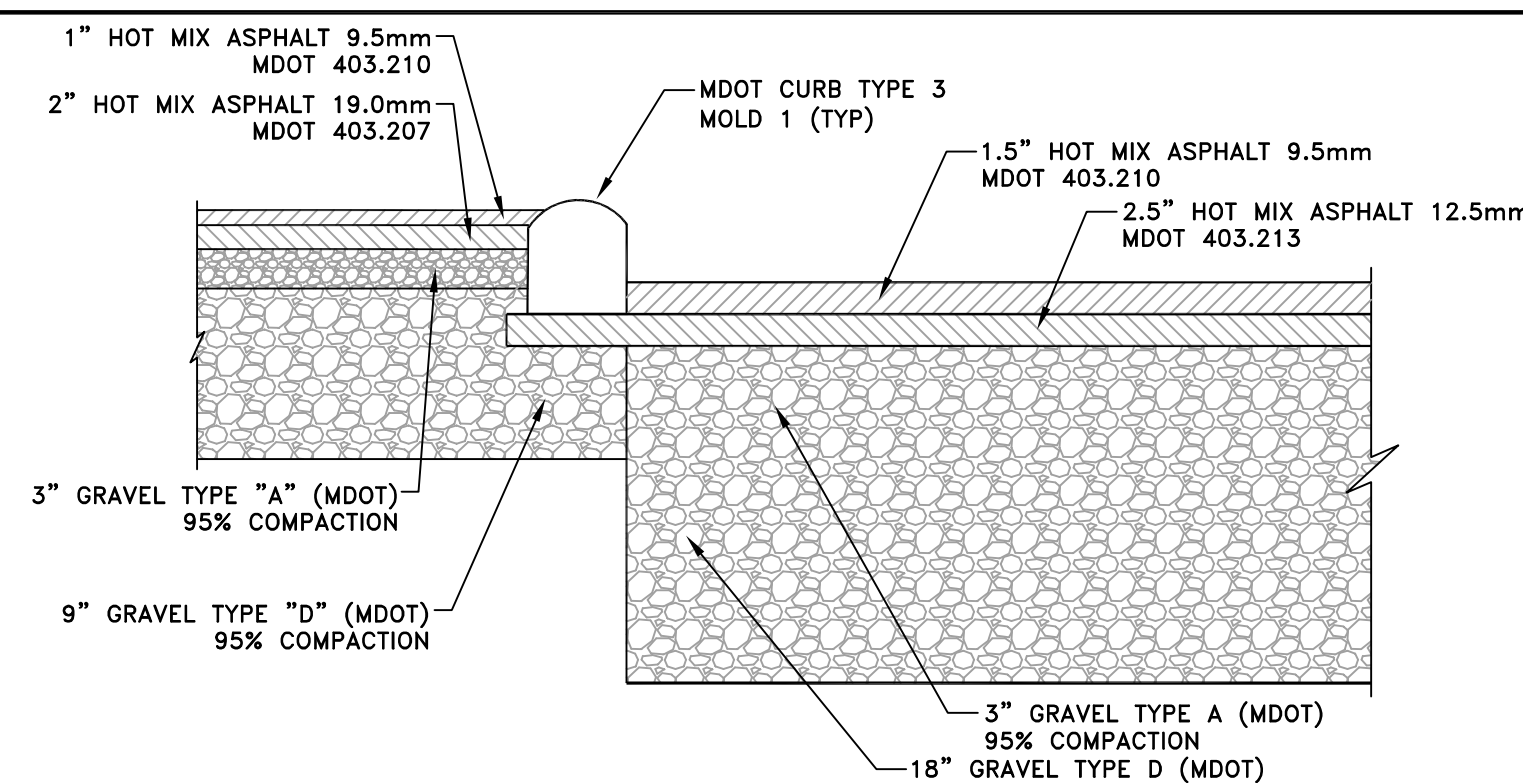
ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAX. DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



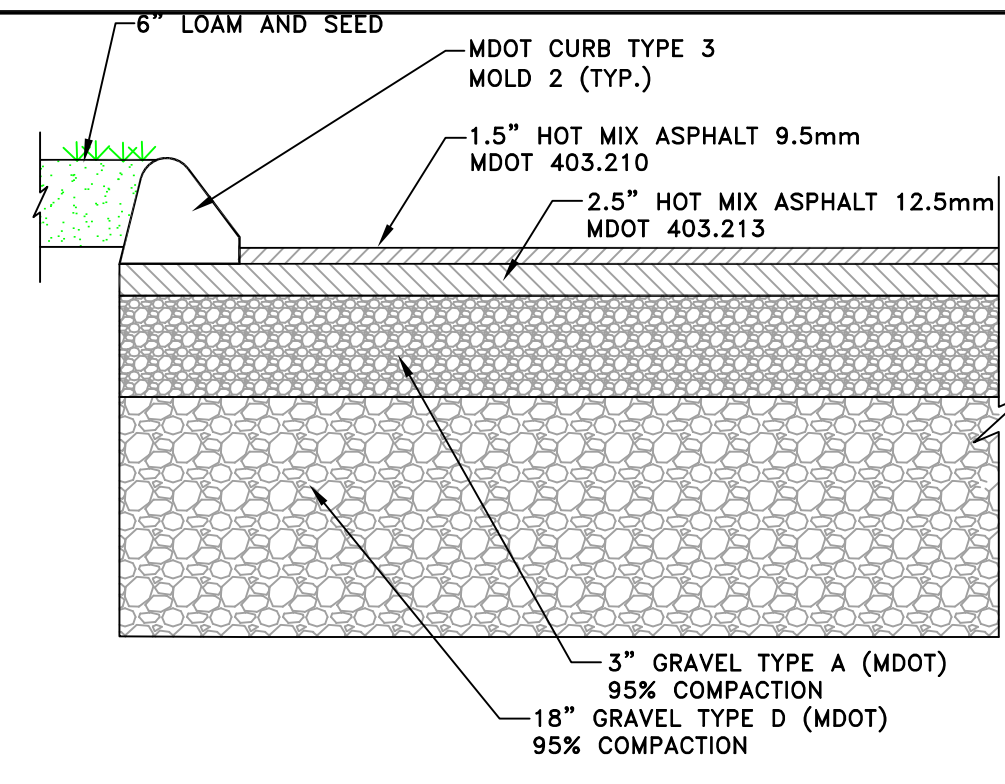
PAVED PARKING AND DRIVE DETAIL
NOT TO SCALE



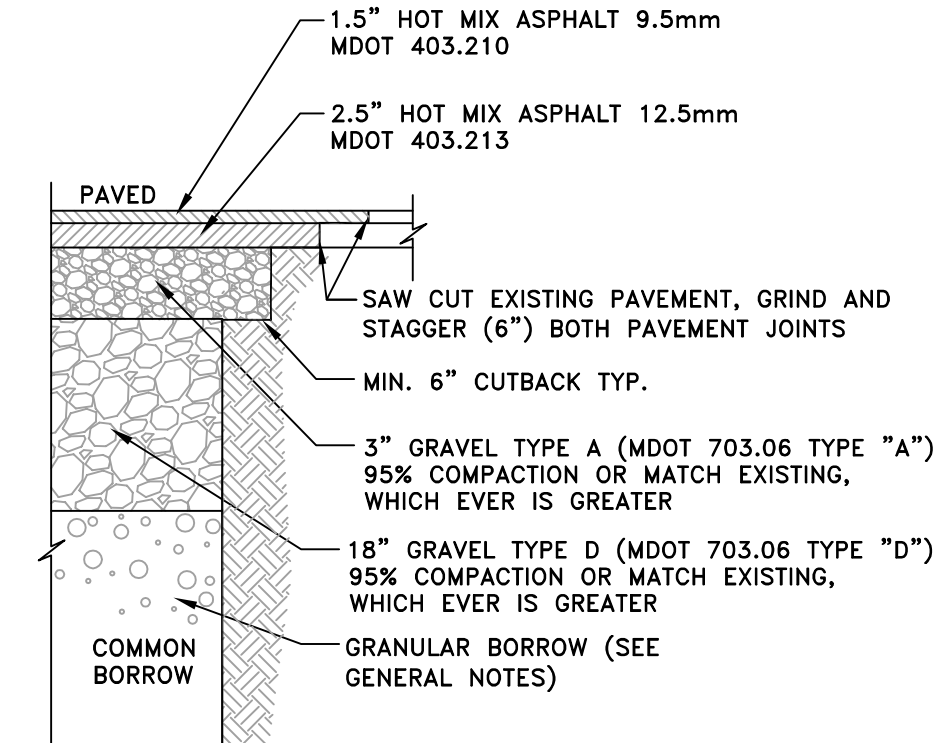
PAVED SIDEWALK DETAIL
NOT TO SCALE



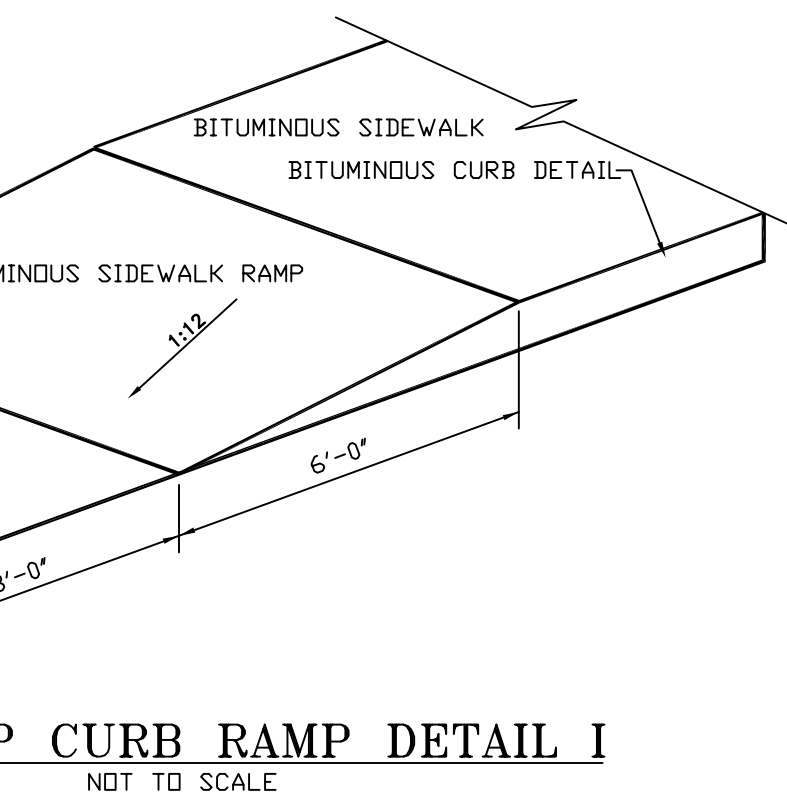
PAVED SIDEWALK & PAVED CURB DETAIL
NOT TO SCALE



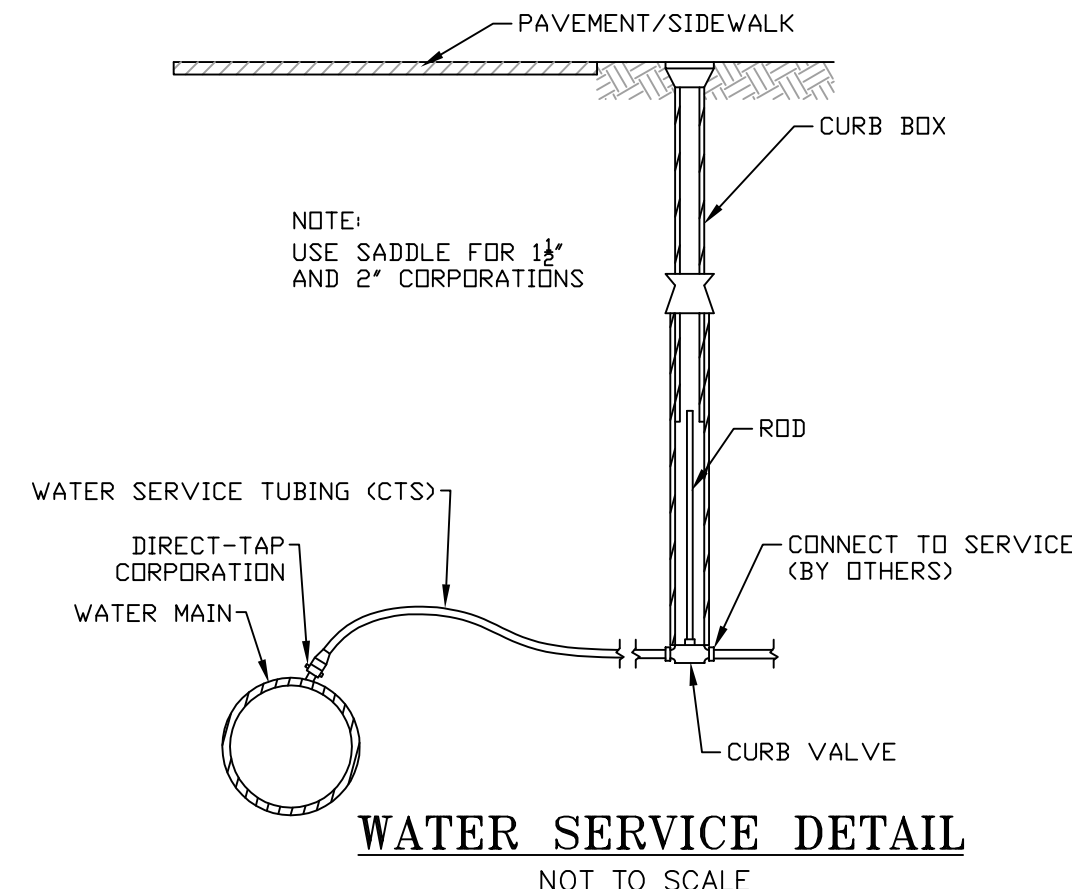
BITUMINOUS CAPE COD CURB DETAIL (IN AREAS WITH NO SIDEWALK)
NOT TO SCALE



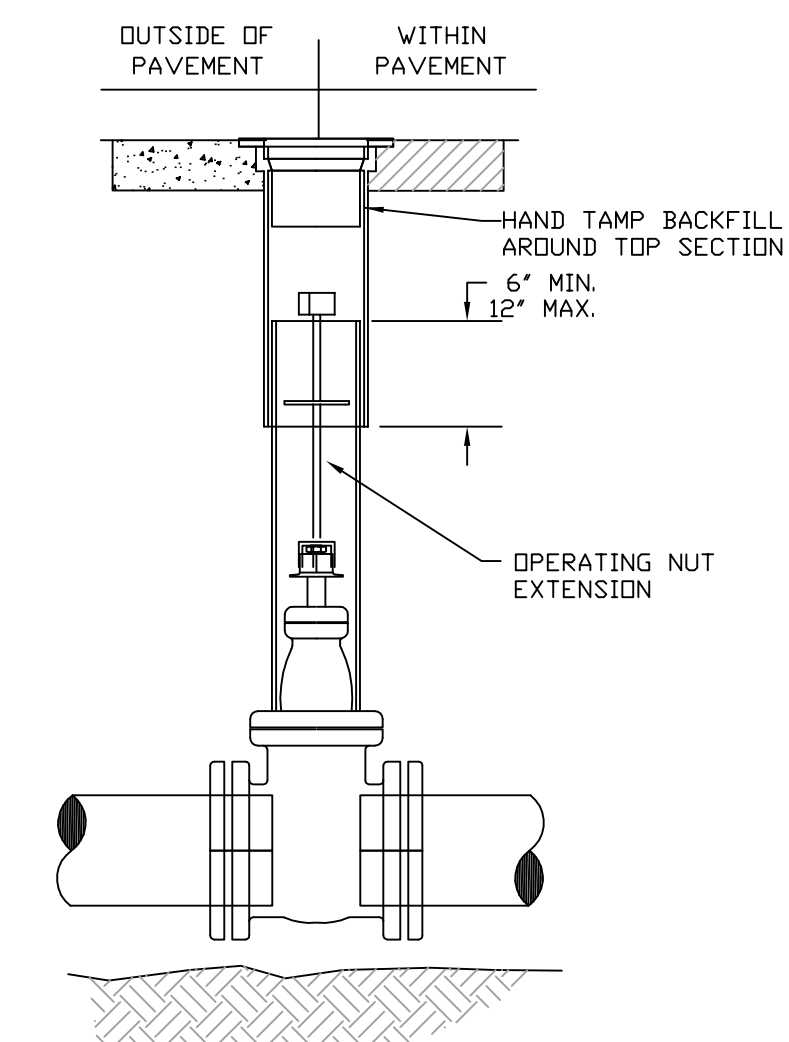
BUTT JOINT DETAIL
NOT TO SCALE



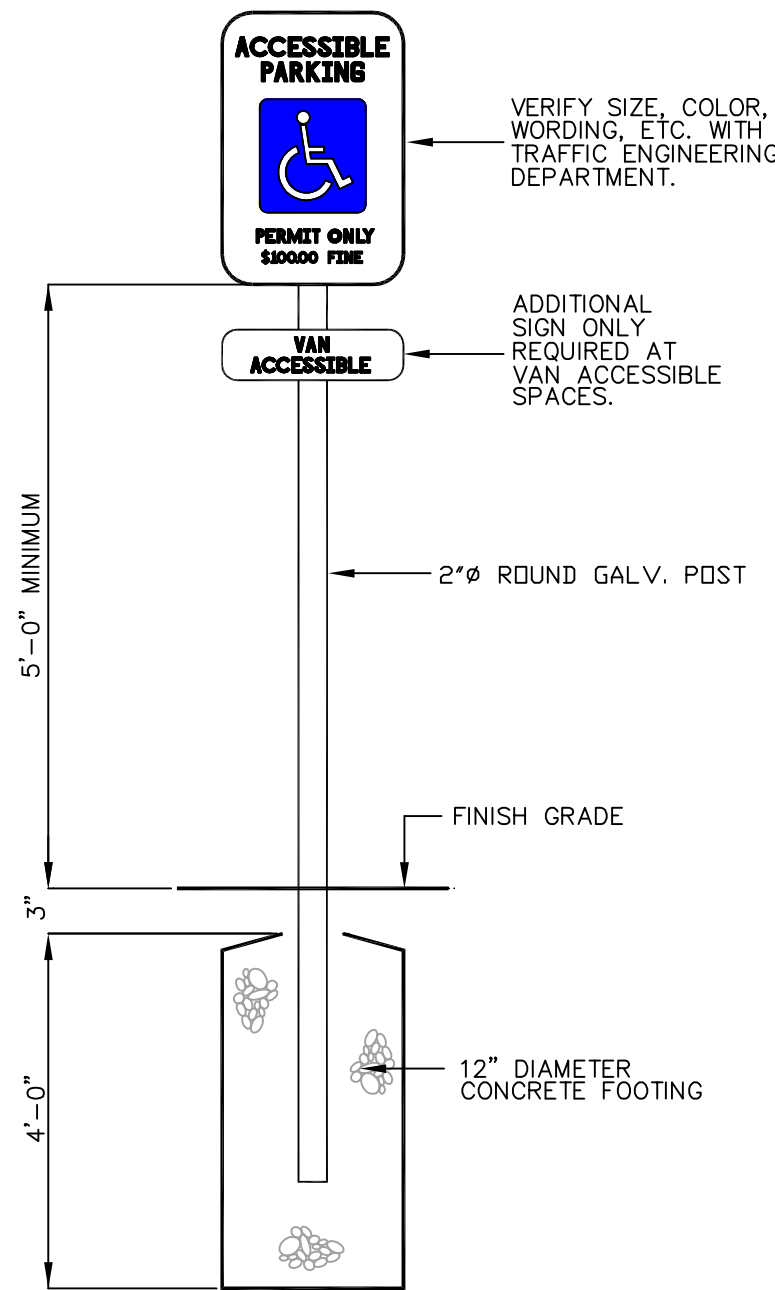
HANDICAP CURB RAMP DETAIL I
NOT TO SCALE



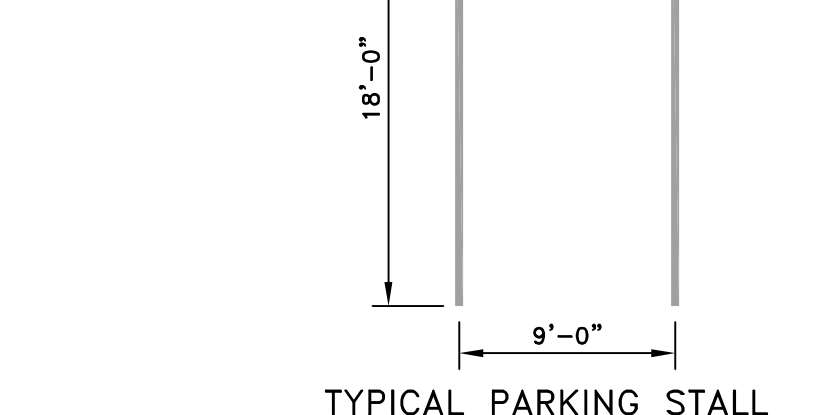
WATER SERVICE DETAIL
NOT TO SCALE



GATE VALVE DETAIL
NOT TO SCALE



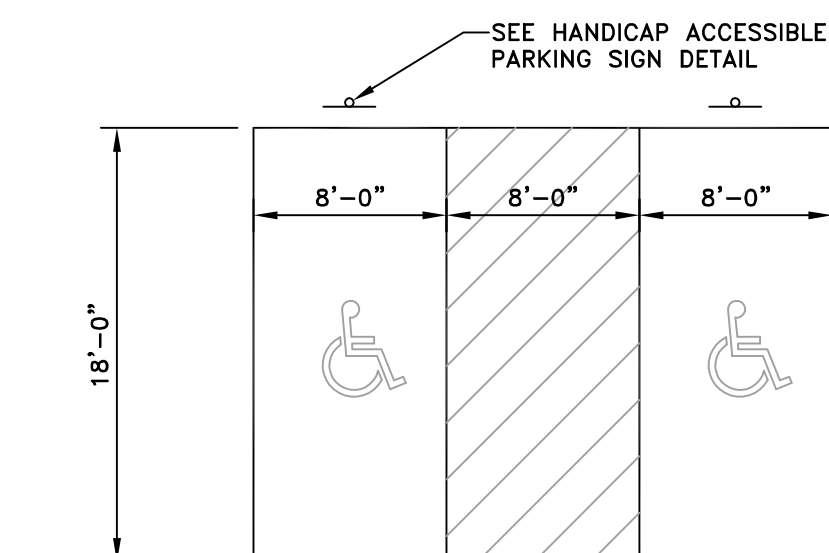
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



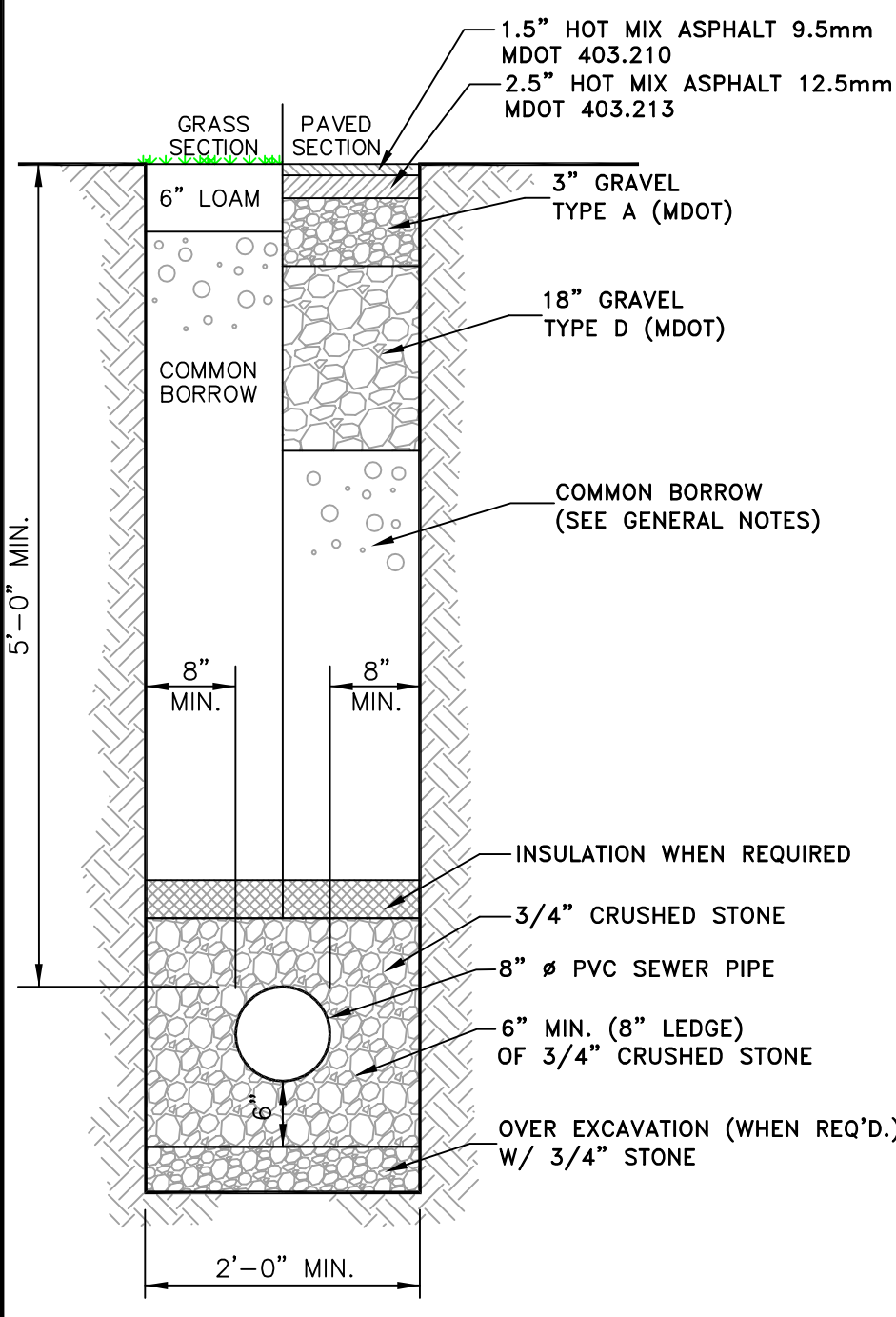
TYPICAL PARKING STALL

SPECIFICATIONS
PAVEMENT MARKING PAINT FOR FINAL AND TEMPORARY PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF AASHTO M248, EITHER TYPE N (REGULAR TRAFFIC PAINT) OR TYPE F (FAST DRY TRAFFIC PAINT) MAY BE USED.
ALL PAVEMENT LINES AND MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
IMMEDIATELY BEFORE APPLYING THE PAVEMENT PAINT TO THE PAVEMENT OR CURB, THE SURFACE SHALL BE DRY AND ENTIRELY FREE FROM DIRT, GREASE, OIL OR OTHER FOREIGN MATTER.
ALL PAVEMENT MARKING LINES SHALL BE 4" SOLID WHITE.

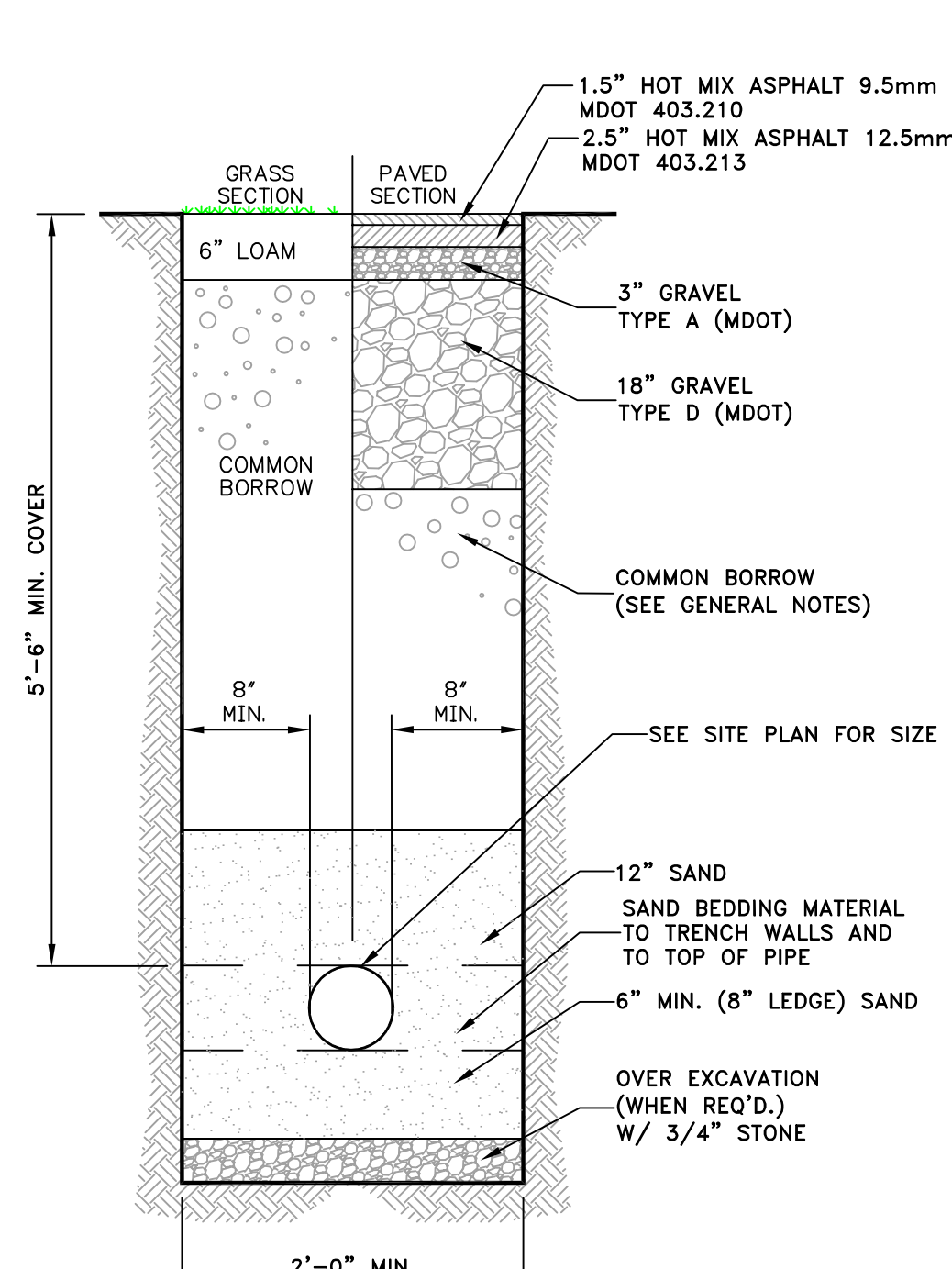
PAVEMENT MARKING DETAIL & SPECIFICATION



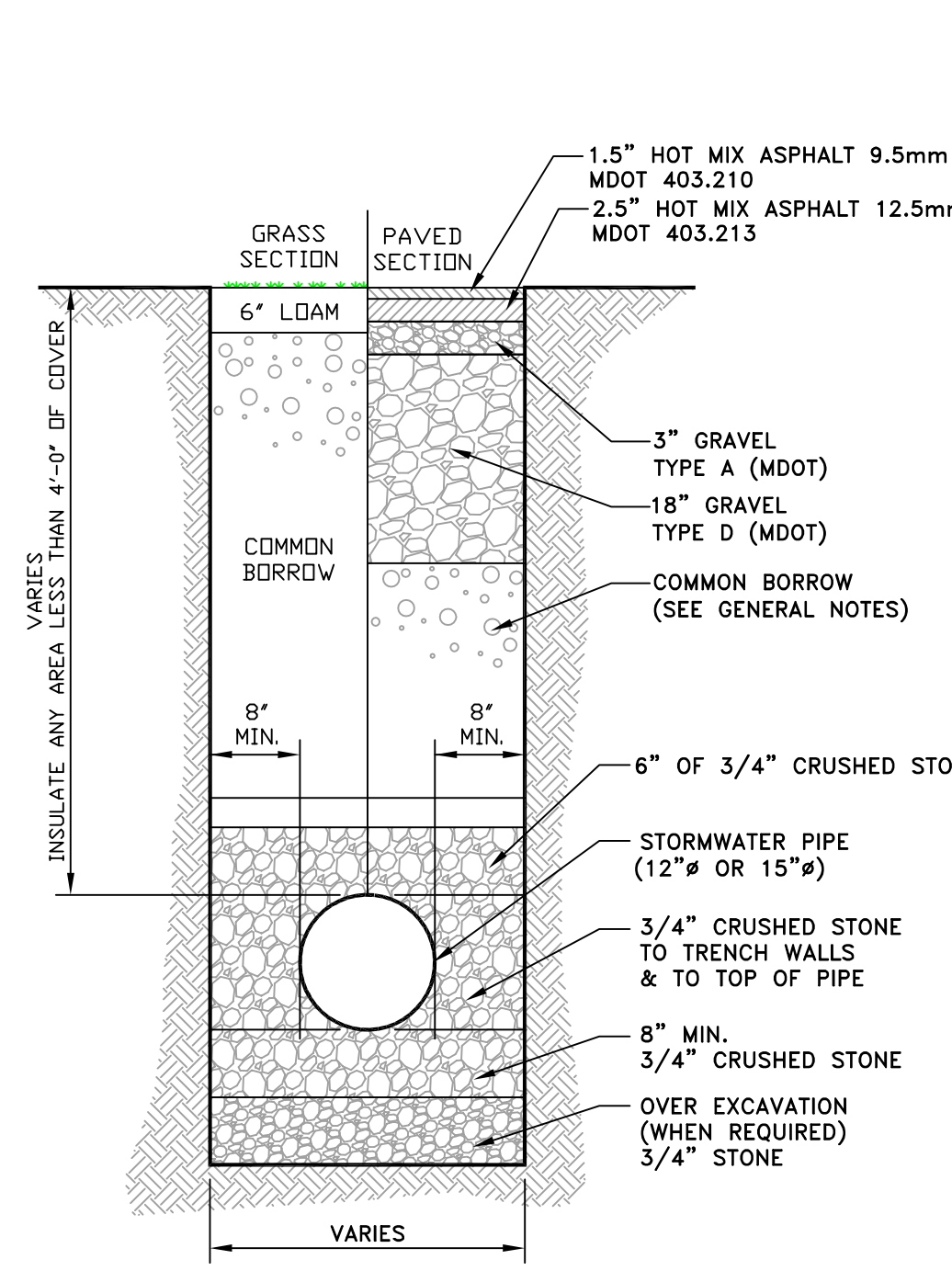
HANDICAP PARKING DETAIL
NOT TO SCALE



TYPICAL SANITARY TRENCH SECTION
NOT TO SCALE

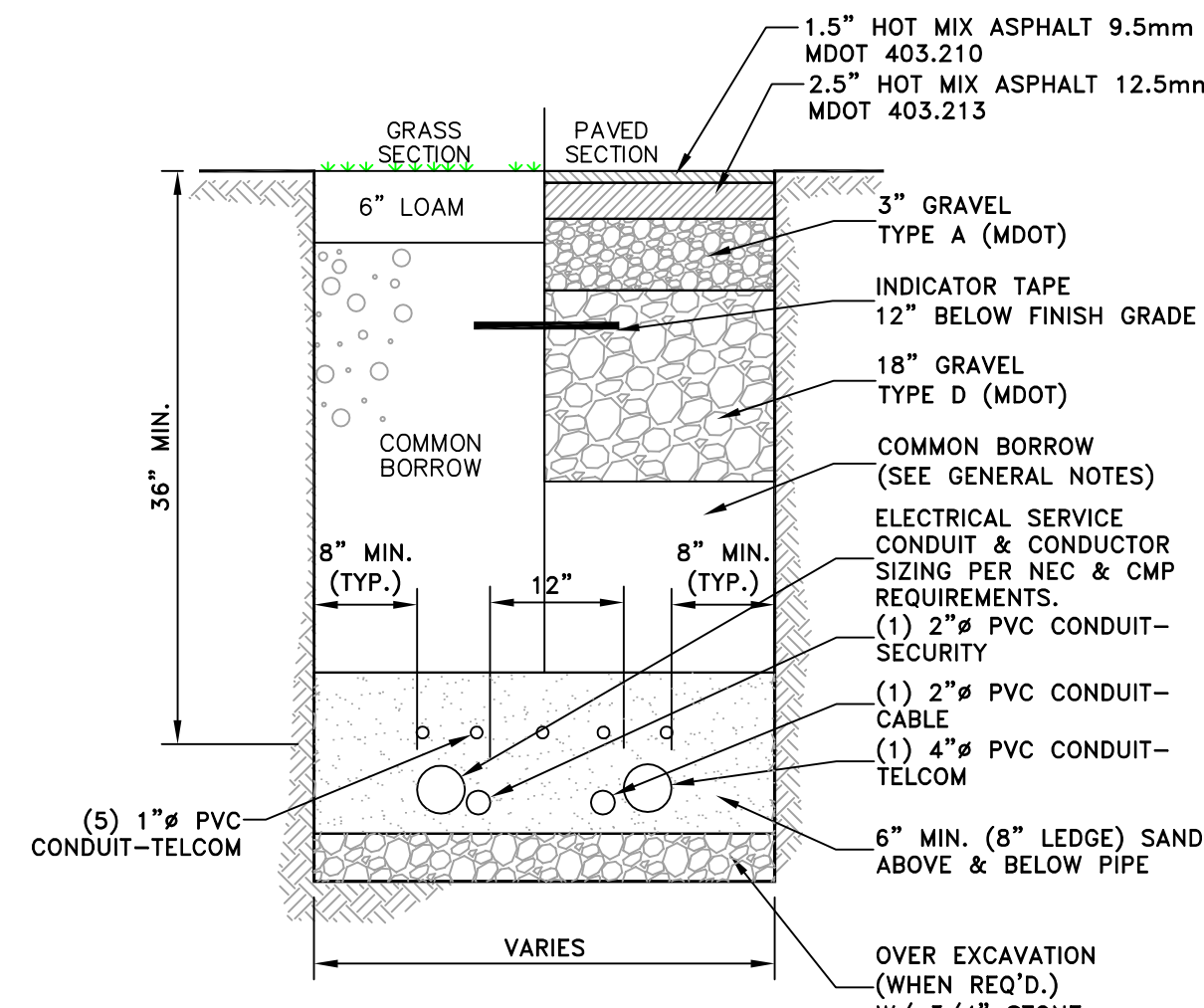


WATER SERVICE TRENCH SECTION
NOT TO SCALE

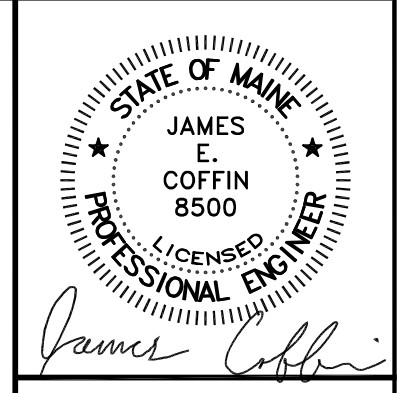


TYPICAL STORMWATER TRENCH SECTION
NOT TO SCALE

TRENCH NOTES:
1. CONTRACTOR SHALL COMPLY WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION REGULATIONS PERTAINING TO THE EXCAVATION OF ALL TRENCHES.
CONTRACTOR SHALL ALLOW FOR PAYMENT OF ADDITIONAL EXCAVATION, TRENCH BOXES AND BACKFILL WITH REGARD TO COMPLYING WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION STANDARDS.
2. ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



TYPICAL ELECTRICAL/SITE LIGHTING TRENCH SECTION
NOT TO SCALE



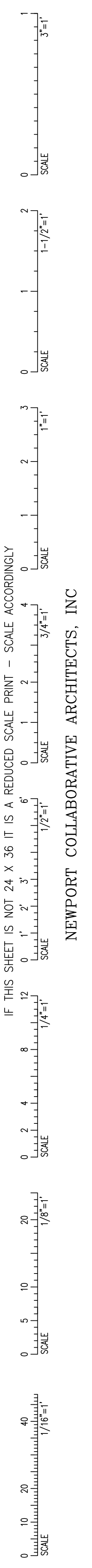
E.S. COFFIN
ENGINEERING & SURVEYING, INC.
152 Camp Road, P.O. Box 4087, Arundel, Maine 04030
Ph: (207) 625-9472 Fax: (207) 625-9016 Toll Free: 1-800-244-9473

NO.	REVISIONS	DATE

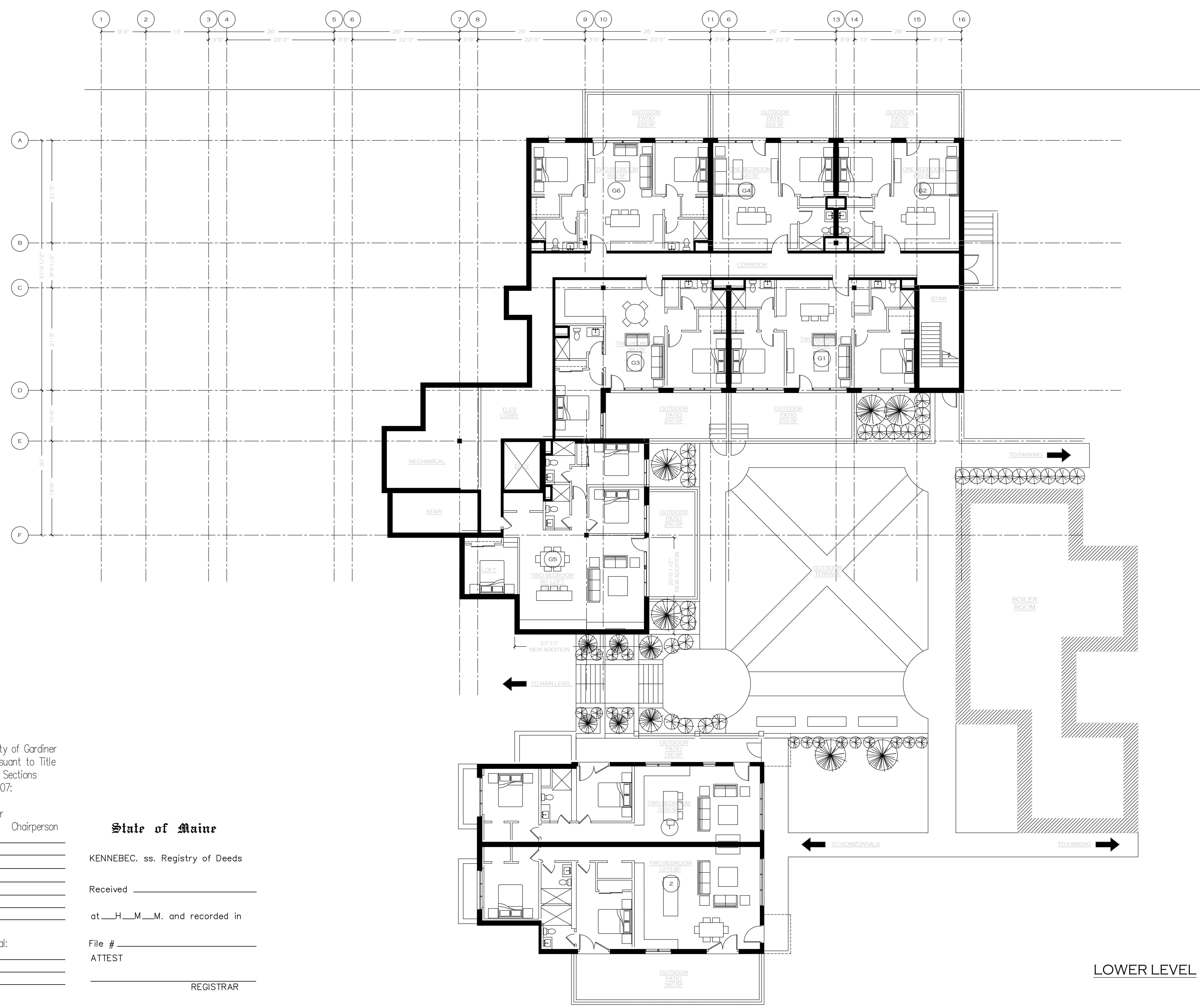
DETAILS III
SCALE: AS SHOWN
DATE: FEBRUARY 10, 2022
DRAWN BY: TCH
CHECKED BY: JEC
CLIENT PROJECT: HATHAWAY HOLDINGS, LLC
LOCATION: 150 DRESDEN AVENUE
TOWN: GARDNER COUNTY: KENNEBEC STATE: MAINE
PROJ. NO. 2020-174



IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



NEWPORT COLLABORATIVE ARCHITECTS, INC




Approved by the City of Gardiner
 Planning Board pursuant to Title
 30-A M.R.S.A. Sections
 4401-4407:


Member _____
 Chairperson _____

 Date: _____
 Conditions of approval: _____

State of Maine
 KENNEBEC. ss. Registry of Deeds
 Received _____
 at ___H___M___M. and recorded in
 File # _____
 ATTEST _____
 REGISTRAR

LOWER LEVEL N ↑

Architect of Record:

 Newport Collaborative Architects
 2 Marlborough Street
 Newport, RI 02840
 Phone: (401) 466-7900
 Web Site: newportcollaborativearchitects.com

Certification:

 John K. Gosselin

Consultants:

Owner:
 HATHAWAY HOLDINGS, LLC
 PAUL BOGHOSSIAN
 HATHAWAY CENTER
 10 WATER STREET BOX 68
 WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:
 Project Name:
GARDINER GREEN

Submission Type: FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 SCHEMATIC DESIGN

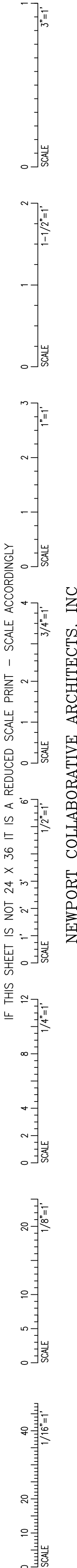
Project Type:

Sheet Name:
**A-1
 LOWER
 LEVEL
 PLAN**

Drawing Scale:
 1/8" = 1'
 Project Number:

 Date Issued:
 12-11-2021

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

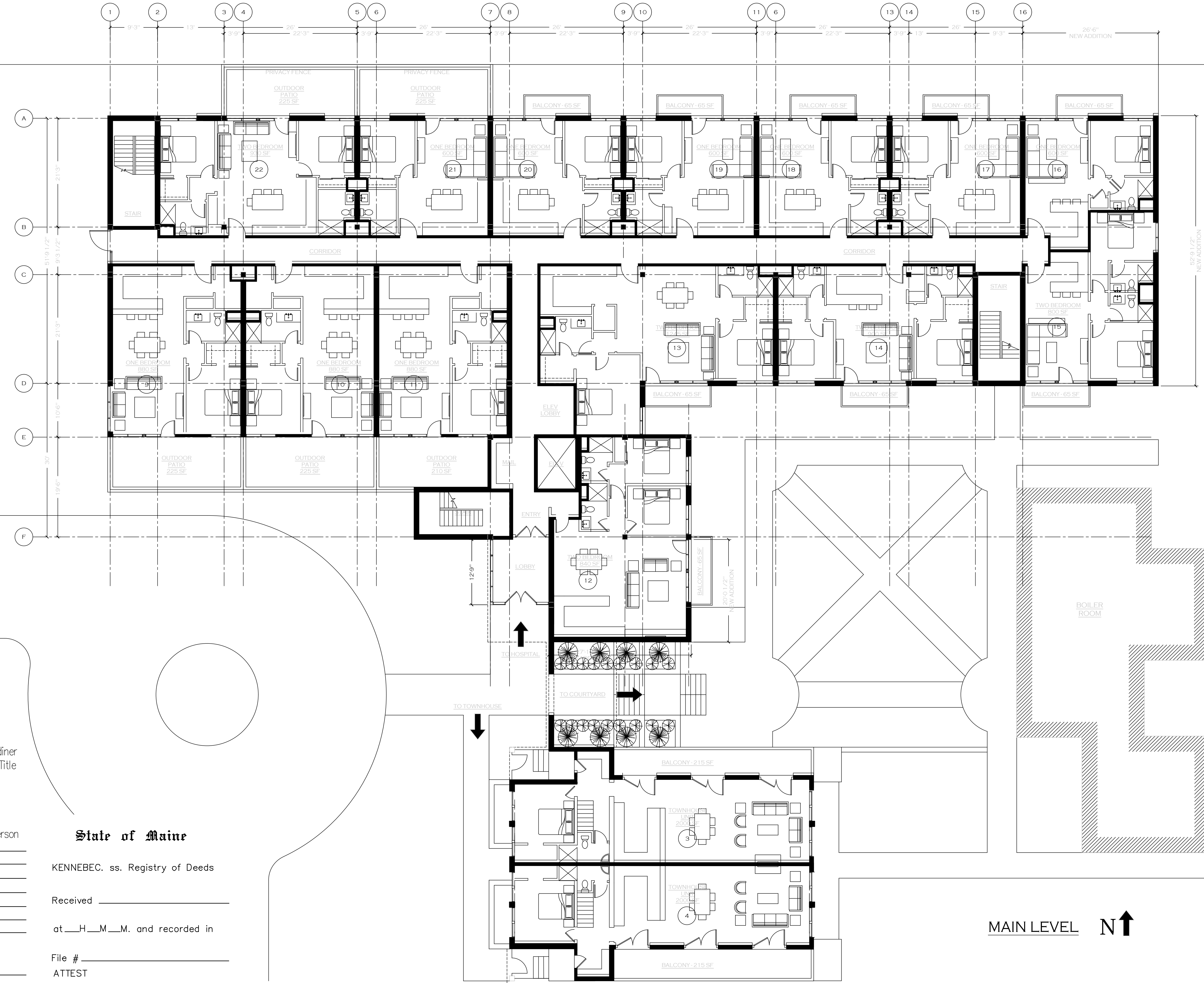


NEWPORT COLLABORATIVE ARCHITECTS, INC

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:


Member _____
Chairperson _____
Date: _____
Conditions of approval: _____

State of Maine
KENNEBEC. ss. Registry of Deeds
Received _____
at ___H___M___M. and recorded in _____
File # _____
ATTEST _____
REGISTRAR



MAIN LEVEL **N** ↑


Architect of Record:



Newport Collaborative Architects

2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com

Certification:



John K. Gosselin

Consultants:

Owner:
HATHAWAY HOLDINGS, LLC
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:
GARDINER GREEN

Submission Type: FOR REVIEW ONLY
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SCHEMATIC DESIGN

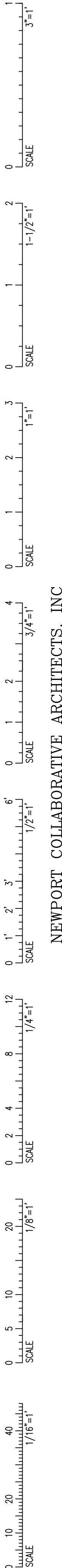
Project Type:

Sheet Name:
**A-2
MAIN
LEVEL
PLAN**

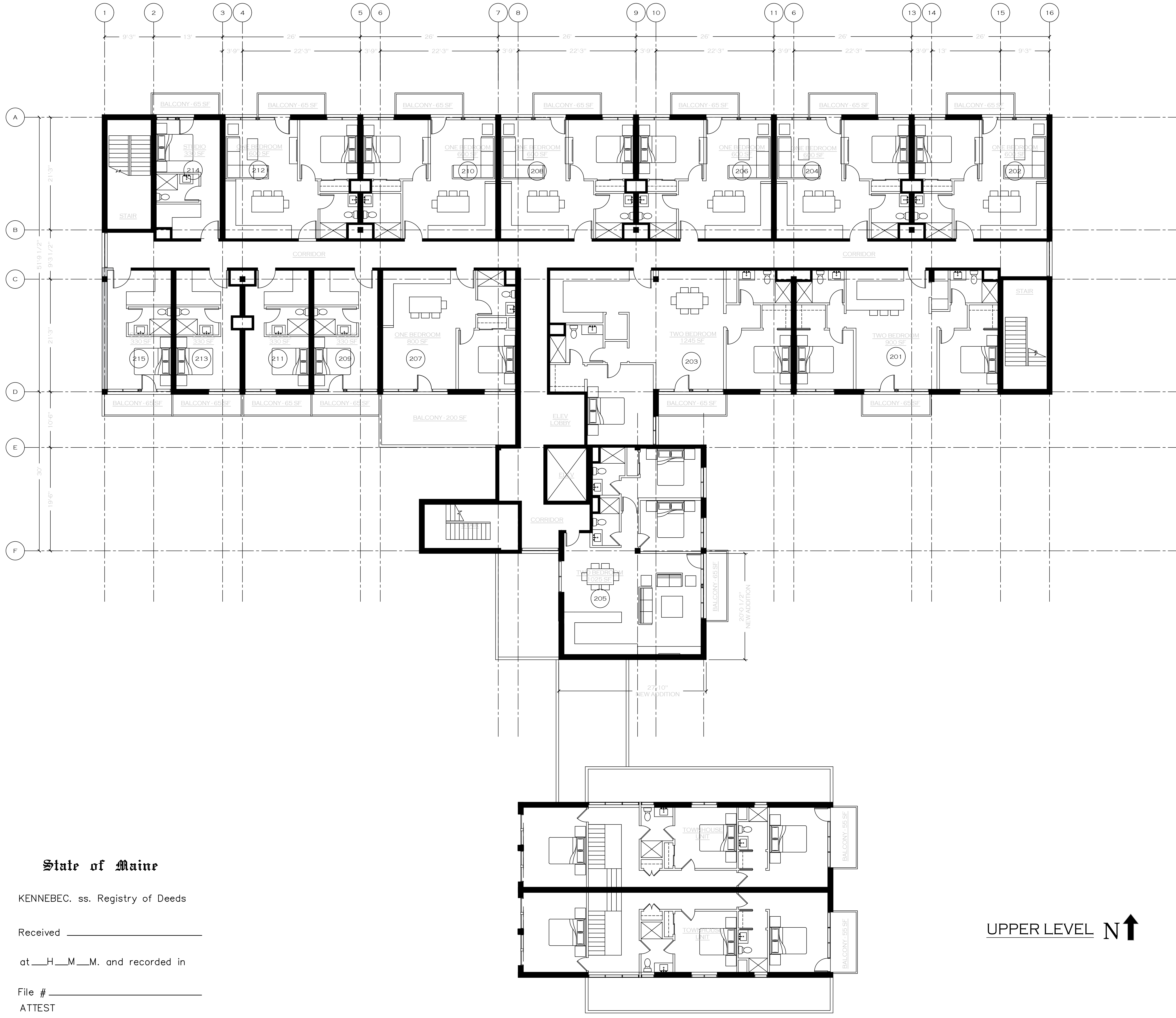
Drawing Scale:
1/8" = 1'

Project Number:
Date Issued:
12-11-2021

IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



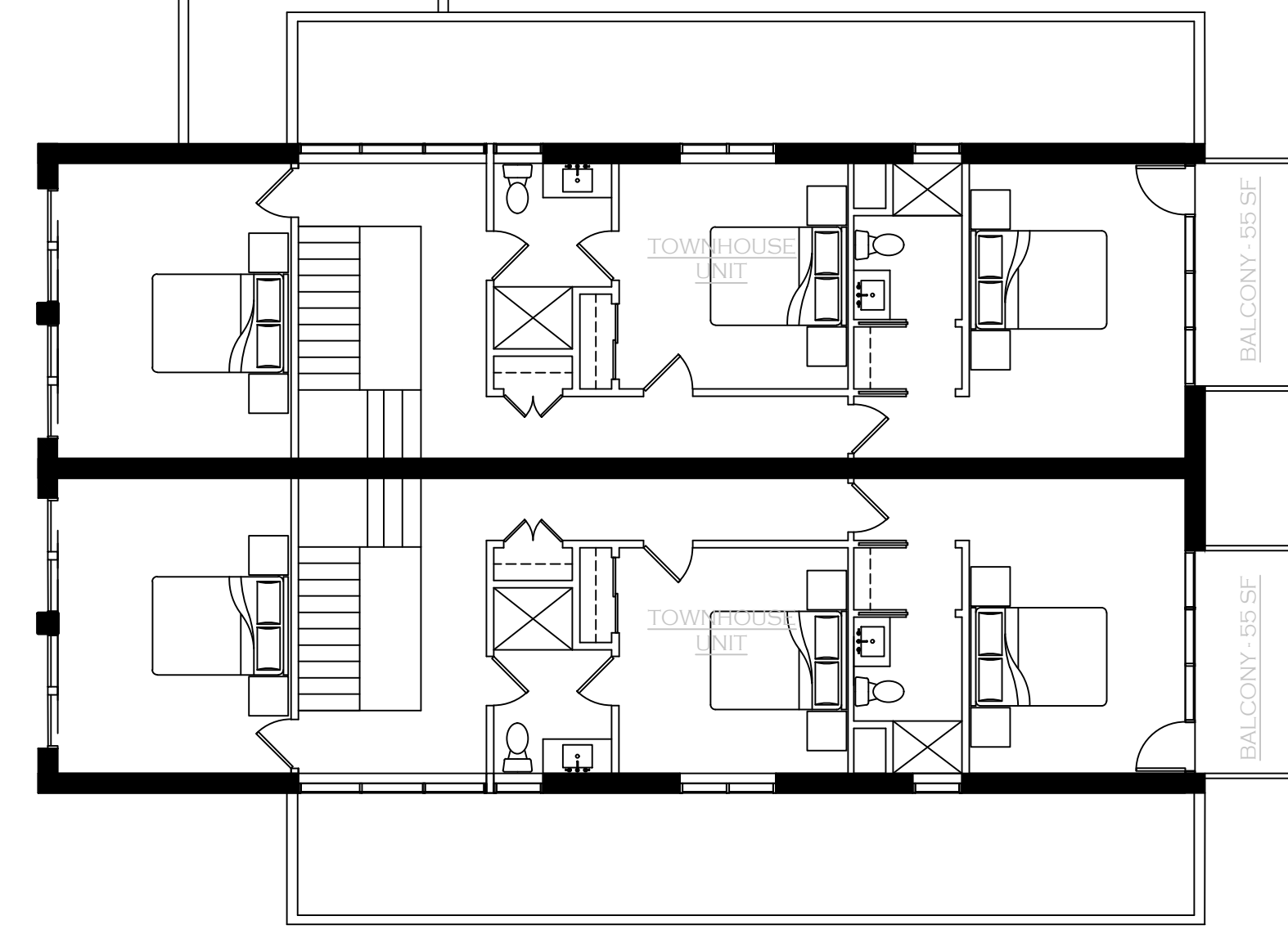
NEWPORT COLLABORATIVE ARCHITECTS, INC



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4401-4407:

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Chairperson _____
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State of Maine
KENNEBEC. ss. Registry of Deeds
Received _____
at ___H___M___M. and recorded in _____
File # _____
ATTEST _____
REGISTRAR



UPPER LEVEL **N** ↑

Architect of Record:

2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com

Certification:

John K. Grossman

Consultants:

Owner:

HATHAWAY HOLDINGS, LLC
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:

GARDINER GREEN

Submission Type: FOR REVIEW ONLY
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SCHEMATIC DESIGN

Project Type:

Sheet Name:

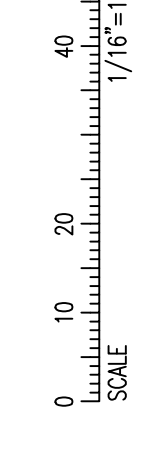
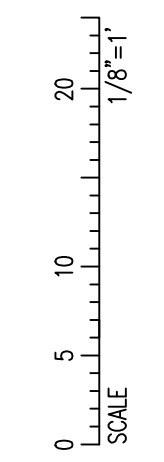
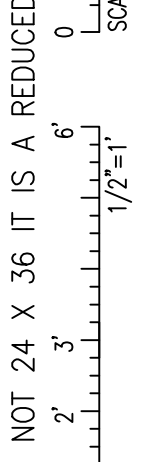
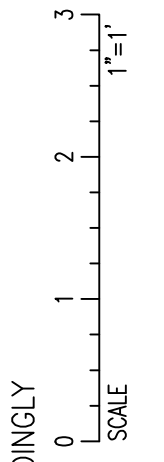
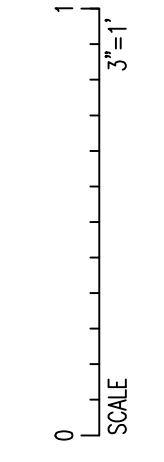
**A-3
UPPER
LEVEL
PLAN**

Drawing Scale:
1/8" = 1'

Project Number:

Date Issued:
12-11-2021

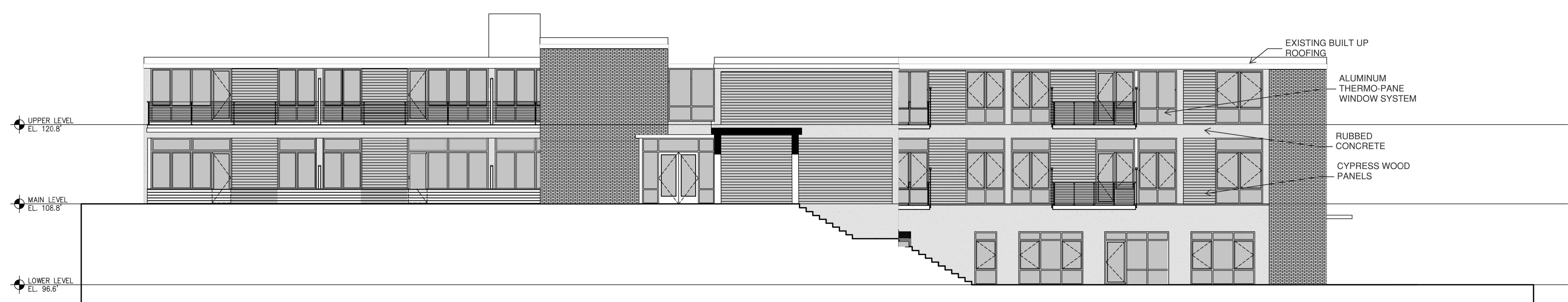
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NEWPORT COLLABORATIVE ARCHITECTS, INC



NORTH ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

Member _____
Chairperson _____
Date: _____
Conditions of approval: _____

State of Maine
KENNEBEC. ss. Registry of Deeds
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ATTEST _____
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HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:
GARDINER GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:
B-1
NORTH &
SOUTH
ELEVATIONS

Drawing Scale:
1/8" = 1'

Project Number:

Date Issued:
12-11-2021

IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

SCALE 3/4"=1'-0"

SCALE 1/2"=1'-0"

SCALE 1/4"=1'-0"

SCALE 3/16"=1'-0"

SCALE 1/8"=1'-0"

NEWPORT COLLABORATIVE ARCHITECTS, INC



EAST ELEVATION
SCALE 1/8"=1'-0"



WEST ELEVATION
SCALE 1/8"=1'-0"

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

Member _____
Chairperson _____

State of Maine

_____ KENNEBEC. ss. Registry of Deeds

Received _____

at ___H___M___M. and recorded in _____

Date: _____ File # _____

Conditions of approval: _____ ATTEST _____

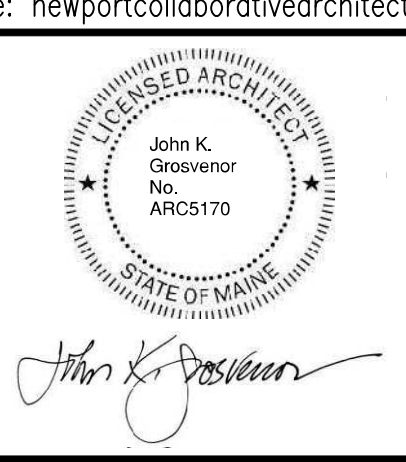
_____ REGISTRAR

Architect of Record:



2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com

Certification:



Consultants:

Owner:

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PAUL BOGHOSSIAN
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10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Revisions:

Number	Date	Description

Project Name:

GARDINER
GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:

B-2
EAST &
WEST
ELEVATIONS

Drawing Scale:

1/8" = 1'

Project Number:

Date Issued:

12-11-2021

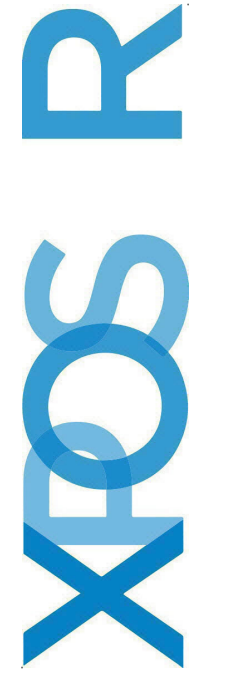
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☐	2	S1	Single	GE Current	EAL803XDSW740XXD1XXXX	64
☐	3	S2	Single	GE Current	EAL803XD4H740XXD1XXXX	70
☐	3	S3	Single	GE Current	EAL803XD4H740XXD1XXXX-ELB-	70
☐	4	S4	Single	GE Current	EAL803XD4H740XXD1XXXX	50
☐	4	WP1	Single	GE Current	EMAS01B4AF740X-120-277V	36



Parking Lot 1
 Illuminance (Fc)
 Average = 1.94
 Maximum = 5.5
 Minimum = 0.4
 Avg/Min Ratio = 4.85
 Max/Min Ratio = 13.75

Parking Lot 3
 Illuminance (Fc)
 Average = 2.88
 Maximum = 5.9
 Minimum = 1.2
 Avg/Min Ratio = 2.40
 Max/Min Ratio = 4.92

Parking Lot 2
 Illuminance (Fc)
 Average = 2.76
 Maximum = 7.4
 Minimum = 0.5
 Avg/Min Ratio = 5.52
 Max/Min Ratio = 14.80



Exposure Lighting
 6 Scott Rd, Unit A
 Hampton, NH 03842
 603-601-8080

#	Date	Comments
Revisions		

Drawn By:
 Checked By:
 Date: 9/30/2021
 Scale:

150-152 DRESDEN AVE
 GARDINER, ME