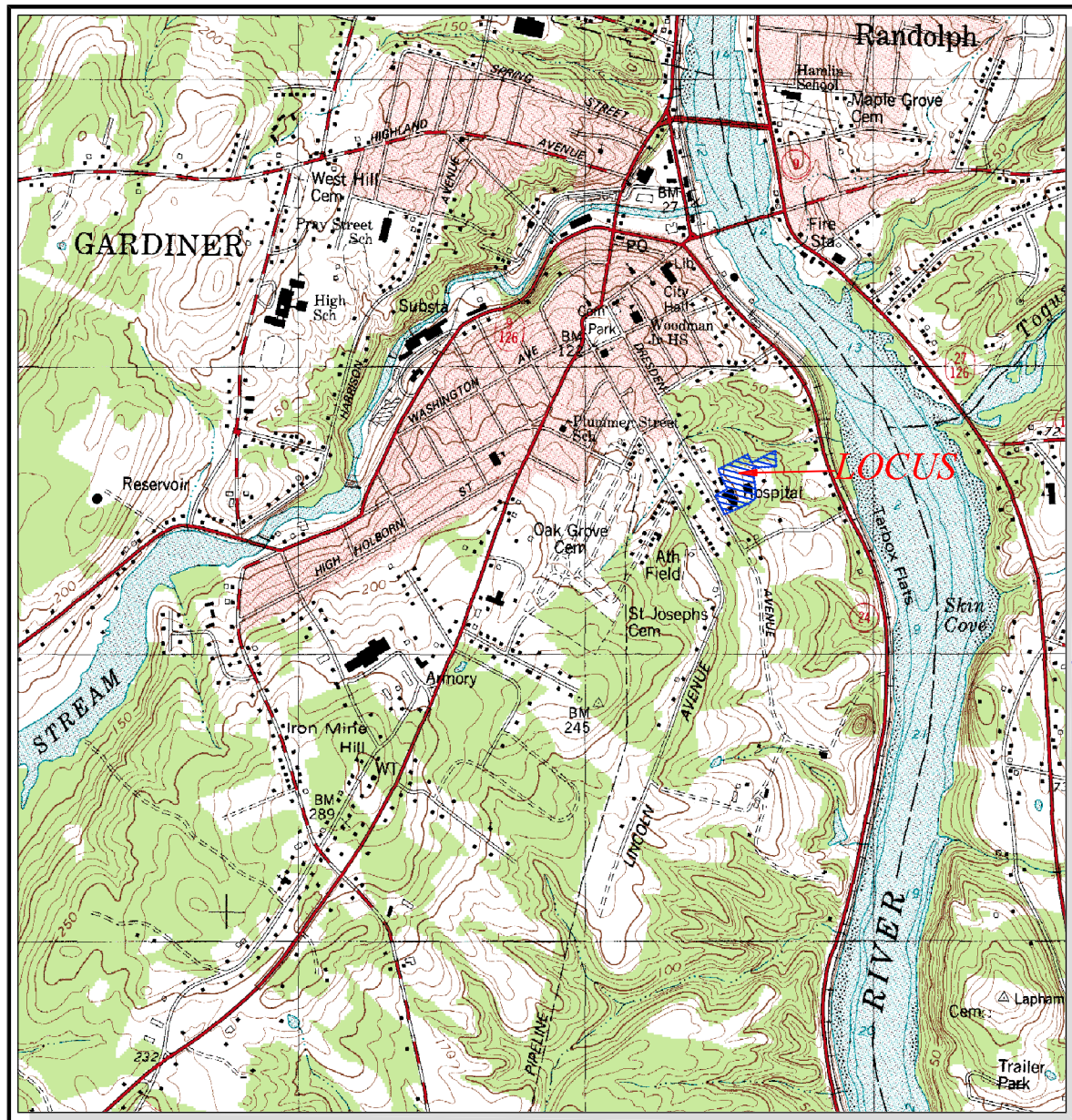


1	REVISED BOUNDARY LINES BASED ON THE CURRENT BOUNDARY SURVEY	05-09-2022
2	ADDED 1' CONTOUR LINES, SLEED AND PROPANE TANK	05-19-2022
3	ADDED DRAINAGE WAY & STREAM PER VALERIAN SMITH ASSOCIATES	05-14-2022
4	ADDED PIN SET IN SOUTHEAST CORNER OF PARCEL	05-14-2022

SHEET TITLE:	TOPOGRAPHIC SURVEY
PROJECT / CLIENT:	E.S. COFFIN ENGINEERING PO BOX 4687 AUGUSTA, MAINE 04330
PROJECT LOCATION:	150 DRESDEN AVENUE GARDINER
COUNTY:	KENNEBEC
STATE:	MAINE
DATE:	08-02-2021

FILE No.	61904K
FLD. BOOK No.	FILE
PLAN No.	760

TOPO	
DIRIGO SURVEYING	
Winthrop, Maine 923-3443	
www.dirigosurveying.com	

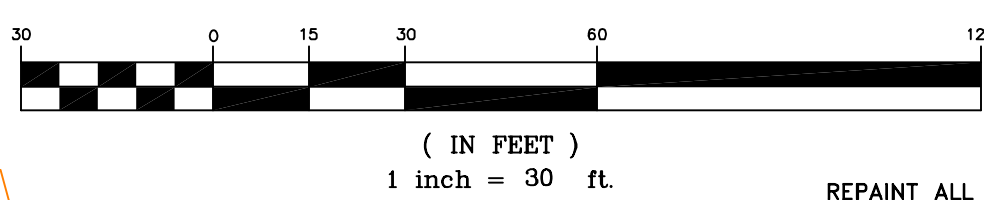


LOCUS MAP

GARDINER
USGS QUAD SHEET
SCALE 1"=2000'

EXISTING BUFFER COMPLIES WITH
THE LAND USE ORDINANCE

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

N/F
GORDON F. STEVENS
HELEN G. STEVENS
BOOK 5960 PAGE 151, 08-22-1997
TAX MAP 32 - LOT 10

N/F
GORDON F. STEVENS
HELEN G. STEVENS
BOOK 5960 PAGE 151, 08-22-1997
TAX MAP 32 - LOT 10

PROPOSED 5' WIDE STONE DUST WALKING PATH
SEE DETAIL SHEET C-4
PROPOSED 34,020 SF
DEDICATED OPEN SPACE

IRON ROD
(CAP #2075)

IRON ROD
(CAP #2519)

MOVEABLE
SHED

PROANE
TANK

GENERATOR
PAD

PROPOSED RIPRAP SLOPE,
(DSO = 18" ANGULAR RIPRAP).
INSTALL MIRAP 18ON FABRIC UNDER ALL
RIPRAP ON SLOPES GREATER THAN 2:1.
SEE DETAIL SHEET C-3
PROPOSED FILTER SOCK, SEE DEP
EROSION AND SEDIMENT CONTROL BMP'S
PROPOSED JERSEY BARRIER, (TYP OF 5).
SEE DETAIL SHEET C-3

PAVED
PARKING LOT

PAVED
PARKING LOT

MAINEGENERAL REHABILITATION
AND LONG TERM CARE

EXISTING BUILDING

EXISTING BUILDING

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GENERAL SITE INFORMATION:

- OWNER: HATHAWAY HOLDINGS, LLC.
10 WATER STREET, BOX 68
WATERVILLE, MAINE 04901
- GARDINER TAX MAP 32 LOT 23
- ZONING DISTRICT: HIGH DENSITY RESIDENTIAL (HDR)
- TITLE/RIGHT/INTEREST: DEED
BOOK 14210 PAGE 170 (QUIT CLAIM DEED)
BOOK 14210 PAGE 174 (QUIT CLAIM DEED)
BOOK 14210 PAGE 178 (ROAD MAINT. AGREEMENT)
- LOT SIZE:
5.42 ACRES (INCLUDES THE 0.90 ACRES FROM
MAINEGENERAL REHABILITATION & LONG TERM CARE)
- DEDICATED OPEN SPACE = 34,020 SF
- DENSITY REQUIREMENTS:
5,000 SF/UNIT (5,000 SF x 34 UNITS=170,000 SF)
- SETBACKS:
ROAD: 25'/50'
SIDE & REAR: 30'
- DWELLING UNITS:
DWELLING UNITS = 34 UNITS
- PARKING:
REQUIRED PARKING SPACES = 68 SPACES
ACTUAL PARKING SPACES = 103 SPACES
- IMPERVIOUS AREA:
PRE DEVELOPMENT = 100,500 SF
POST DEVELOPMENT = 97,960 SF
DECREASE OF 2,540 SF

LANDSCAPE LEGEND

Proposed landscaping on the north
side of apartment building

SYMBOL	COMMON NAME	SIZE	QTY.
	UNDERSTORY TREE	1 1/2 - 2" dbh CAL.	4
	DECIDUOUS SHRUB	18"/24" TALL	16

LANDSCAPING NOTES

Plantings per 100'
Full-Screen Option #3, 25' Wide
Canopy 6
Understory 10
Shrub 20

LANDSCAPE LEGEND

Full-Screen Option #3
Required Plantings for 200 lf

SYMBOL	COMMON NAME	SIZE	QTY.
	CANOPY TREE	2 - 2 1/2" dbh CAL.	12
	UNDERSTORY TREE	1 1/2 - 2" dbh CAL.	20
	DECIDUOUS SHRUB	18"/24" TALL	40

LANDSCAPING NOTES

Plantings per 100'
Partial-Screen Option #3, 25' Wide
Understory 3
Shrub 36

LANDSCAPE LEGEND

Parking Lot Full-Screen Opt. #3
Required Plantings for 50 lf

SYMBOL	COMMON NAME	SIZE	QTY.
	UNDERSTORY TREE	1 1/2 - 2" dbh CAL.	2
	DECIDUOUS SHRUB	18"/24" TALL	18

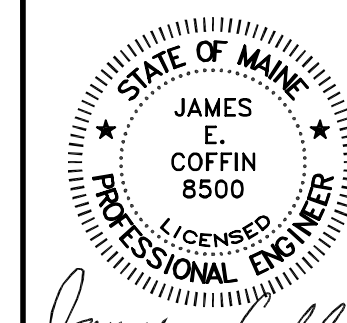
LANDSCAPING NOTES

Plantings per 100'
Partial-Screen Option #3, 25' Wide
Understory 6
Shrub 6

LANDSCAPE LEGEND

Partial-Screen Option #3
Required Plantings for 400 lf

SYMBOL	COMMON NAME	SIZE	QTY.
	UNDERSTORY TREE	1 1/2 - 2" dbh CAL.	24
	DECIDUOUS SHRUB	18"/24" TALL	24



E.S. COFFIN
ENGINEERING
SURVEYING
© 2021
432 Corn Road, P.O. Box 487, Augusta, Maine 04330
PH: (207) 625-9473 Fax: (207) 625-9476 Toll Free: 1-800-249-4973

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1. CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICES OF THE KENNEBEC COUNTY SOIL CONSERVATION SERVICE AND THE MAINE DEP BEST MANAGEMENT PRACTICES HANDBOOK.

EROSION/SEDIMENT CONTROL DEVICES:

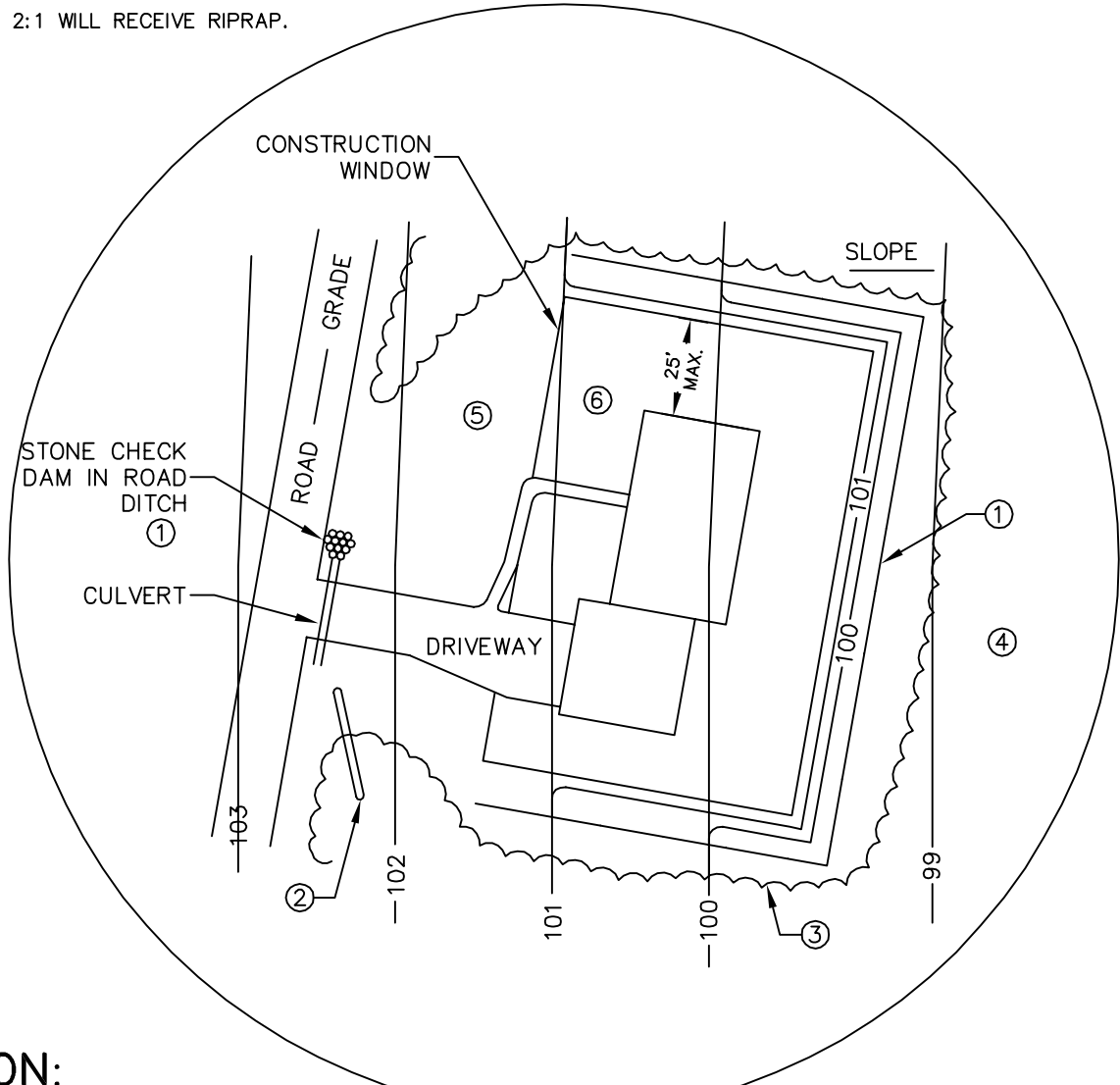
1. SILT FENCE: SILT FENCE WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SILT FENCE WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SILT FENCE AND TO PROVIDE ADDITIONAL TREATMENT.

2. **STONE CHECK DAMS:** STONE CHECK DAMS ARE TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE STONE CHECK DAMS IN FLOWING WATER OR STREAMS.
3. **RIPRAP:** PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
4. **LOAM, SEED, & MULCH:** ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 YEARS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED ARE THE END OF THIS SPECIFICATION.
5. **STRAW AND HAY MULCH:** USED TO COVER DENUDE AREA UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY. CURLEX II AND EXCELSIOR MAY BE USED IN PLACE OF JUTE MESH OVER MULCH.
6. **MULCH NETTING:** SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN .3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN .8%.

1. SILTATION FENCE ALONG THE DOWN GRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SILTATION FENCE WILL REMAIN IN PLACE UNTIL THE SITE IS 85% REVEGETATED.
2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SILT FENCE.
3. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
 - (A) SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
 - (B) AVOID PLACING TEMPORARY STOCKPILES IN AREA WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES. SEE ITEM 3 IN CONSTRUCTION PHASE NOTES BELOW.
 - (C) THE CONTRACTOR MUST STABILIZE SOIL AND FILL STOCKPILES WITHIN 7 DAYS PRIOR TO ANY RAINFALL.
 - (D) SURROUND STOCKPILE SOIL WITH SILTATION FENCE AT BASE OF PILE.

1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.

2. SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP.



1. INSTALL SEDIMENT BARRIERS ON YOUR SITE BEFORE DISTURBING SOILS. SEE THE "SEDIMENT BARRIERS" MEASURE FOR DETAILS ON INSTALLATION AND MAINTENANCE.
2. CONSTRUCT A DIVERSION DITCH TO KEEP UPSLOPE RUNOFF OUT OF WORK AREA.
3. MARK CLEARING LIMITS ON THE SITE TO KEEP EQUIPMENT OUT OF AREAS WITH STEEP SLOPES, CHANNELIZED FLOW, OR ADJACENT SURFACE WATERS AND WETLANDS.
4. PRESERVE BUFFERS BETWEEN THE WORK AREA AND ANY DOWNSTREAM SURFACE WATERS AND WETLANDS. SEE THE "BUFFERS" MEASURE FOR BUFFER PRESERVATION.
5. USE TEMPORARY MULCH AND RYE-SEED TO PROTECT DISTURBED SOIL OUTSIDE THE ACTIVE CONSTRUCTION AREA. SEE THE "MULCHING" MEASURE AND "VEGETATION" MEASURE FOR DETAILS AND SPECIFICATIONS FOR THESE CONTROLS.
6. PERMANENTLY SEED AREAS NOT TO BE PAVED WITHIN SEVEN DAYS OF COMPLETING FINAL GRADING. SEE "VEGETATION" MEASURE FOR INFORMATION ON PROPER SEEDING.

EVERY MONTH THE FIRST YEAR AFTER CONSTRUCTION AND YEARLY THEREAFTER, INSPECT FOR AREAS SHOWING EROSION OR POOR VEGETATION GROWTH. FIX THESE PROBLEMS AS SOON AS POSSIBLE. EACH SPRING REMOVE ANY ACCUMULATION OF DEBRIS OR WINTER SAND THAT WOULD IMPEDE RUNOFF FROM ENTERING A BUFFER OR DITCH.

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 7 DAYS, SEE ITEM NO. 4.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SILT FENCING AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPE AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION. IMMEDIATELY FOLLOWING CONSTRUCTION OF CULVERTS AND SWALES, RIP RAP APRONS SHALL BE INSTALLED, AS SHOWN ON THE PLANS.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THEN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SILTATION FENCE BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 15 DAYS SHALL BE:
 - (A) ALL STOCKPILES ANTICIPATED TO REMAIN IN PLACE FOR LESS THAN 30 DAYS SHALL BE TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL), OR PRIOR TO ANY RAINFALL OR COVERED WITH AND ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 - (B) ALL STOCKPILES ANTICIPATED TO REMAIN IN PLACE LONGER THAN 30 DAYS SHALL BE SEEDDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LB./1,000 SQ. FT.) AND MULCHED WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL OR COVERED WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 - (C) INSTALL SILT FENCE AROUND STOCKPILE AT BASE OF PILE, STOCKPILES TO HAVE SILT FENCE INSTALLED AT TIME ESTABLISHMENT AT BASE OF PILE.
4. DISTURBED AREAS:
 - (A) DISTURBED AREAS ANTICIPATED REMAINING UNDISTURBED FOR LESS THAN 30 DAYS UNTIL PERMANENTLY STABILIZED SHALL BE TREATED WITH ANCHORED MULCH WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 - (B) DISTURBED AREAS ANTICIPATED TO REMAIN UNDISTURBED FOR MORE THAN 30 DAYS UNTIL PERMANENTLY STABILIZED SHALL BE TREATED SEEDDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LB./1,000 SQ. FT.) AND MULCHED AT A RATE OF 150 LB. PER 1000 SQ. FT. WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH SLOPE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.) ALL SLOPES HAVING A GRADE GREATER THAN 8% WILL BE STABILIZED WITH RIP RAP OR PERMANENT SEEDING WITHIN 5 DAYS OF COMPLETING THE SLOPES FINAL GRADING.
6. THE CONTRACTOR SHALL WITHIN 24 HOURS OF PLACING A CULVERT PLACE STONE RIP RAP, APRON OR PLUNGE POOL, AT THE CULVERTS OUTLET. ALL CULVERTS WILL BE PROTECTED WITH STONE RIP RAP (Ø50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.
7. ANY DITCH SECTION BROUGHT TO FINAL GRADE WILL BE STABILIZED WITH RIP RAP LINED OR PROPERLY INSTALLED EROSION CONTROL BLANKETS (UNTIL COVERED OVER PERMANENT SEEDING) WITHIN 5 DAYS.

1. A MINIMUM OF 4" OF LOAM WILL SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW PRIOR TO SEEDING. LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1,000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1,000 SQ. FT. WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

KENTUCKY BLUEGRASS 0.46 LBS/1,000 S.F.
CREEPING RED FESCUE 0.46 LBS/1,000 S.F.
PERENNIAL RYE GRASS 0.11 LBS/1,000 S.F.

RED TOP 0.05 LBS/1,000 S.F.
TALL FESCUE 0.46 LBS/1,000 S.F.

- AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IT HAS BEEN SEEDING. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
- (A) HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
1. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
 2. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
 3. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
- B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.
4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
- (A) ONLY UNFROZEN LOAM SHALL BE USED.
- (B) LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
- (C) WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS/1,000 SQ. FT.) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
- (D) WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS/1,000 SQ.FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
- (E) FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
- (F) ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.
5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. THE CONTRACTOR WILL CARRY OUT RESEEDING WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. HAY BALE BARRIERS, SILT FENCE, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AN AREA UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SILT FENCE BEHIND THE HAY BALES.
2. VISUALLY INSPECT RIP RAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDED AS NEEDED. EXPOSED AREAS WILL BE RESEED AS NEEDED UNTIL THE AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIP RAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ATE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1,000 B.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THEIR MULCH. NOTE: AN AREA TO BE USED AS A ROAD OR VEHICLE PARKING LOT IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH COMPACTED GRAVEL, SUBBASE OR COMPACTED STRUCTURAL SAND.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAN OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDD AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER UNTIL SUCH TIME AS EITHER CONDITIONS OR DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL NOT BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SILT FENCE OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS ABOVE 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8% VEGETATED DRAINAGE SLOPES SHALL BE LINED WITH EXCELISOR OR CURLEX.
8. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1 THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
9. WINTER RYE IS RECOMMENDED FOR STABILIZATION UNTIL OCTOBER 1ST. AFTER OCTOBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
10. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.


(A) INSTALL A SOD LINING IN THE DITCH: THE CONTRACTOR WILL LINE THE DITCH WITH PROPERLY INSTALLED SOD BY OCTOBER 1ST. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.

(B) INSTALL A STONE LINING IN THE DITCH: THE CONTRACTOR WILL LINE THE DITCH WITH STONE RIP RAP BY NOVEMBER 15TH. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE AND LINE THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE CONTRACTOR WILL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING SO AS TO PREVENT THE STONE LINING FORM REDUCING THE DITCH'S CROSS-SECTIONAL AREA.

2. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES: THE CONTRACTOR WILL CONSTRUCT AND STABILIZE STONE COVERED SLOPES BY NOVEMBER 15. THE CONTRACTOR WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 1. THE DEPARTMENT WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

- (A) STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE SLOPE BY NOVEMBER 1, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF WOOD--WASTE COMPOST AS DESCRIBED IN ITEM 3 OF THIS STANDARD OR WITH STONE RIP RAP AS DESCRIBED IN ITEM 4 OF THIS STANDARD.
 - (B) STABILIZE THE SLOPE WITH SOD: THE CONTRACTOR WILL STABILIZE THE DISTURBED SLOPE WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
 - (C) STABILIZE THE SLOPE WITH WOOD--WASTE COMPOST: THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD--WASTE COMPOST ON THE SLOPE BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE WOOD--WASTE COMPOST TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H: 1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
 - (D) STABILIZE THE SLOPE WITH STONE RIP RAP: THE CONTRACTOR WILL PLACE A LAYER OF STONE RIP RAP ON THE SLOPE BY NOVEMBER 15. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIP RAP.
3. STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS: BY SEPTEMBER 15 THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON THE SITE. IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.
- (A) STABILIZE THE SOIL WITH TEMPORARY VEGETATION: BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET, LIGHTLY MULCH THE SEEDS SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 1, THEN THE CONTRACTOR WILL MULCH THE AREA FOR OVER PROTECTION AS DESCRIBED IN ITEM 3 OF THIS STANDARD.
 - (B) STABILIZE THE SOIL WITH SOD: THE CONTRACTOR WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
 - (C) STABILIZE THE SOIL WITH MULCH: BY NOVEMBER 15 THE CONTRACTOR WILL MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, THE CONTRACTOR WILL ANCHOR THE MULCH WITH NETTING OR OTHER METHOD TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (65% GRASS CATCH), NECESSARY REPAIRS SHALL BE MADE TO CORRECT UNDERMINING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.
3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER, TOWN OR THEIR DESIGNEE.

C-2	PROJ. NO.	2020-174							
	CLIENT/PROJECT:	GARDINER GREEN HATHAWAY HOLDINGS, LLC							
	LOCATION:	150 DRESDEN AVENUE							
	TOWN:	GARDINER	COUNTY:	Kennebec	STATE:	MAINE			
	DATE:	JULY 19, 2022	DRAWN BY:	TGH					
	SCALE:	AS SHOWN		CHECKED BY:	JEC				
SHEET TITLE:	DETAILS I								
	No.			REVISONS		DATE			
 <div style="float: right; text-align: right;"> E.S. COFFIN <small>ENGINEERING & SURVEYING</small> <small>INC.</small> <small>© 2020</small> </div> <p>James E. Coffin</p> <p>E.S. COFFIN ENGINEERING & SURVEYING, INC. 432 Com. Road P.O. Box 4687 Augusta, Maine 04330 Ph. (207) 623-9475 Fax (207) 623-7001 Toll Free 1-800-344-9475</p>									

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE



AGGREGATE FOR GRAVEL BASE

SIEVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING SQUARE MESH SIEVES		
	TYPE A AGGREGATE	TYPE D AGGREGATE	STRUCTURAL FILL
2" / 3" / 4"	100 (2")	100 (3")	100 (4")
1/2 INCH	45-70	35-80	90-100
1/4 INCH	30-55	25-65	25-90
No. 40	0-20	0-30	0-30
No. 200	0-6	0-7	0-5

SIEVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING SQUARE MESH SIEVES		
	TYPE A AGGREGATE	TYPE D AGGREGATE	STRUCTURAL FILL
2" / 3" / 4"	100 (2")	100 (3")	100 (4")
1/2 INCH	45-70	35-80	90-100
1/4 INCH	30-55	25-65	25-90
No. 40	0-20	0-30	0-30
No. 200	0-6	0-7	0-5

TYPE "D" AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 6 INCH SQUARE MESH SIEVE.

THE SURFACE OF EACH LAYER SHALL BE MAINTAINED DURING COMPACTION OPERATIONS IN SUCH A MANNER THAT A UNIFORM TEXTURE IS PRODUCED AND THE AGGREGATE IS FIRMLY KEED. THE MOISTURE CONTENT OF THE MATERIAL SHALL BE MAINTAINED AT THE PROPER PERCENT TO ATTAIN THE REQUIRED COMPACTION AND STABILITY. COMPACTION OF EACH LAYER SHALL BE CONTINUED UNTIL DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY" HAS BEEN ACHIEVED FOR THE FULL WIDTH AND DEPTH OF EACH LAYER AS APPLIED.

AGGREGATE FOR SUB-BASE

COMMON BORROW

ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAX. DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



SPECIFICATIONS

ALL PAVEMENT MARKING LINES SHALL BE 4" SOLID WHITE.

SEE HANDICAP ACCESSIBLE PARKING SIGN DETAIL

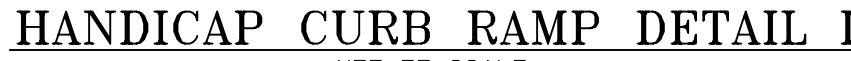
18'-0"

8'-0"

8'-0"

8'-0"

HANDICAP PARKING DETAIL



1. CONTRACTOR SHALL COMPLY WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION REGULATIONS PERTAINING TO THE EXCAVATION OF ALL TRENCHES. CONTRACTOR SHALL ALLOW FOR PAYMENT OF ADDITIONAL EXCAVATION, TRENCH BOXES AND BACKFILL WITH REGARD TO COMPLYING WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION STANDARDS. 2. ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



GATE VALVE DETAIL
NOT TO SCALE



C-4	PROJ. NO. 2020-174		CLIENT/PROJECT: GARDINER GREEN HATHAWAY HOLDINGS, LLC	SHEET TITLE: DETAILS III				
	LOCATION: 150 DRESDEN AVENUE			SCALE: AS SHOWN				
	TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE			DRAWN BY: TGH CHECKED BY: JEC DATE: JULY 19, 2022				
					NO.	REVISIONS	DATE	



© 2022 NEWPORT COLLABORATIVE ARCHITECTS

Date Issued:
06-21-2022



Date: _____
Conditions of approval: _____

Date Issued:
06-21-2022

5' = 1" SCALE
1 1/2" = 1" SCALE
1" = 1" SCALE
3/4" = 1" SCALE
1/2" = 1" SCALE
1/4" = 1" SCALE
1/8" = 1" SCALE
1/16" = 1" SCALE

NEWPORT COLLABORATIVE ARCHITECTS, INC

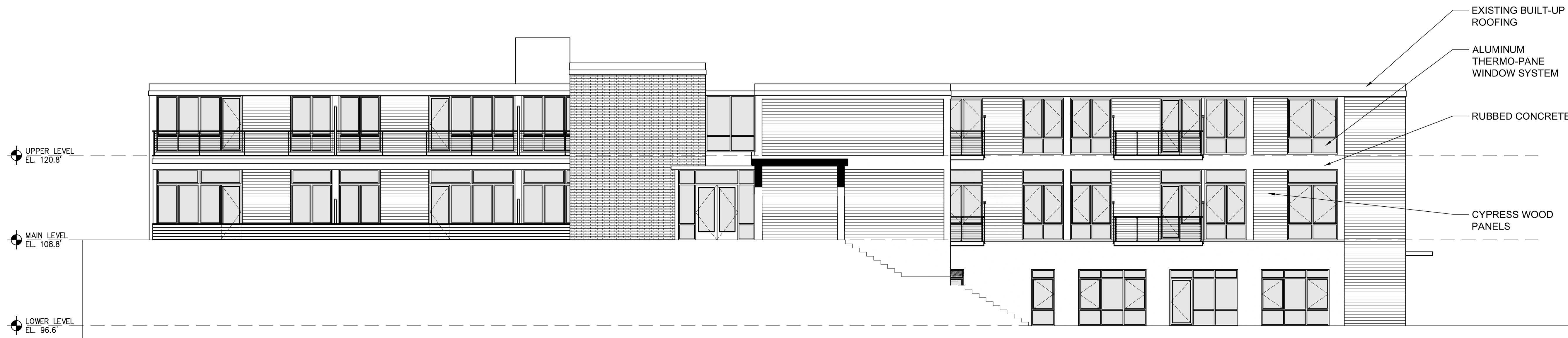
EXISTING BUILT-UP ROOFING
ALUMINUM THERMO-PANE WINDOW SYSTEM
RUBBED CONCRETE

CYPRESS WOOD PANELS

UPPER LEVEL
EL. 120.8'

MAIN LEVEL
EL. 108.8'

LOWER LEVEL
EL. 96.6'



Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

Member
Chairperson

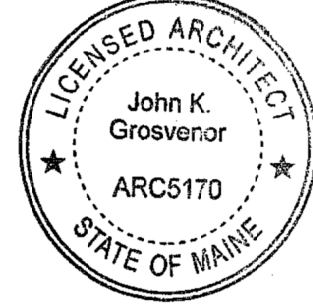
Date:
Conditions of approval:

Architect of Record:



2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com

Certification:



Consultants:

Owner:

HATHAWAY HOLDINGS, LLC
PAUL BOGHOSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Revisions:

Project Name:
GARDINER
GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:

B-1
NORTH &
SOUTH
ELEVATIONS

Drawing Scale:

1" = 1'

Project Number:

Date Issued:

06-21-2022

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

SCALE 1"=1'-0"

SCALE 1/2"=1'-0"

SCALE 3/4"=1'-0"

SCALE 1/4"=1'-0"

SCALE 1/8"=1'-0"

SCALE 1/16"=1'-0"

NEWPORT COLLABORATIVE ARCHITECTS, INC

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

Member
Chairperson

Date:
Conditions of approval:

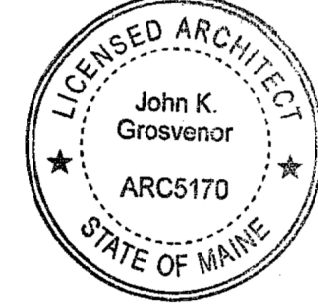


Architect of Record:



2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com

Certification:



Consultants:

Owner:

HATHAWAY HOLDINGS, LLC
PAUL BOGHOSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number Date Description

Revisions:

Project Name:

GARDINER
GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:

B-2
EAST &
WEST
ELEVATIONS

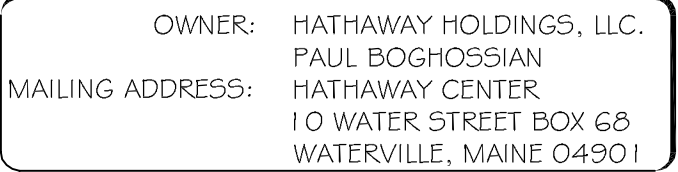
Drawing Scale:

1/8" = 1'

Project Number:

Date Issued:

06-21-2022



State of Maine

KENNEBEC. ss. Registry of Deeds

Received _____

at ___H___M___M. and recorded in

Plan Book _____ Page _____

ATTEST

REGISTRAR

APPROXIMATE WETLANDS

Approved by the
City of Gardiner Planning Board
pursuant to
Title 30-A M.R.S.A. Sections 4401-4408:

10 Members

Chairperson

Date: _____

Conditions of approval: _____

A circular professional engineer seal for the State of Maine. The outer ring contains the text "STATE OF MAINE" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the text "JAMES E. COFFIN" and "8500" below it. Below the seal, the name "James Coffin" is handwritten in cursive.



E.S. COFFIN
ENGINEERING
SURVEYING
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E.S. COFFIN ENGINEERING & SURVEYING, INC.
432 Com. Road P.O. Box 4687 Augusta, Maine 04330
Ph. (207) 623-9475 Fax (207) 623-0016 Toll Free 1-800-244-9475

[illegible]

BUILDING SECTION

DRAWN BY: CSC
CHECKED BY: JEC

22

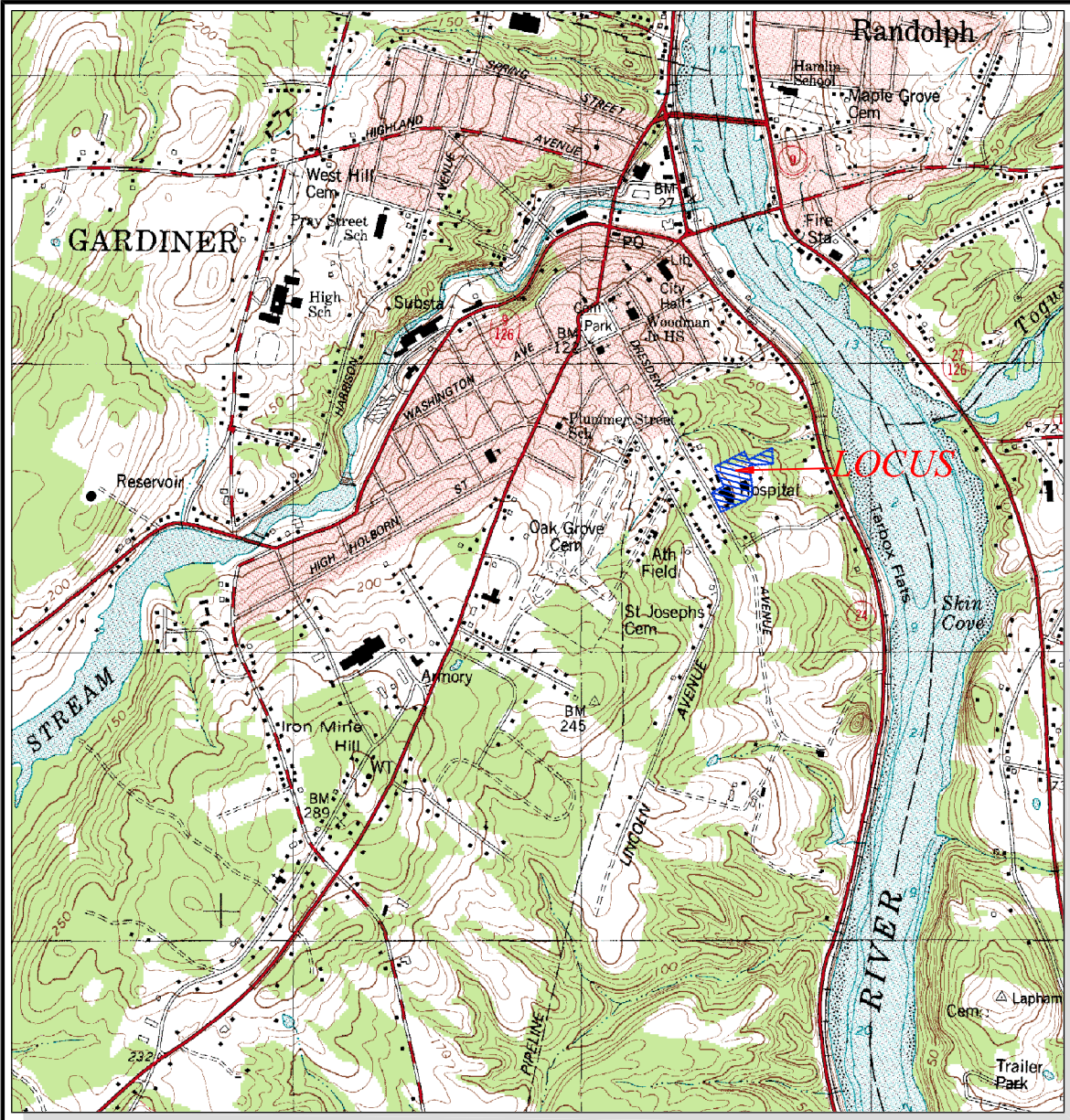
9, 2

**GARDINER GREEN
HAWAY HOLDINGS, LLC**

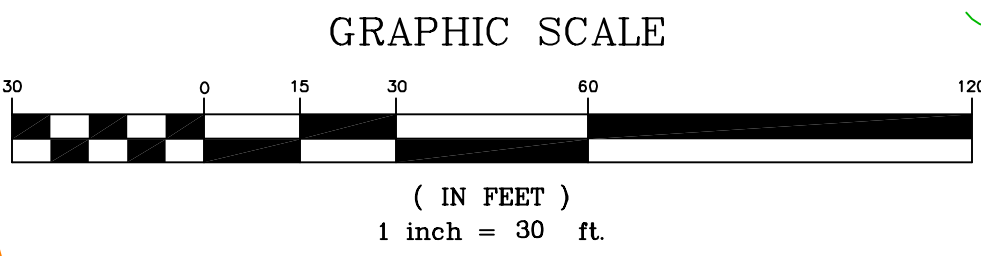
TOWN: GARDINER
COUNTY: KENNEBEC
STATE: MAINE

PROJ. NO. 2020-174

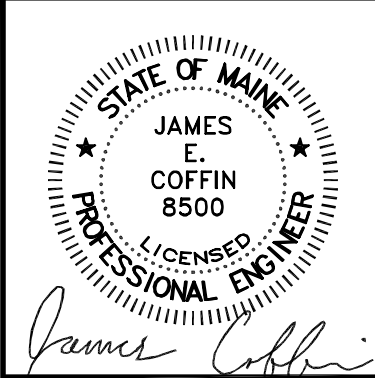
S-1



LOCUS MAP
GARDINER
USGS QUAD SHEET
SCALE 1"=2000'



- LEGEND**
- IRON ROD FOUND
 - IRON PIPE FOUND
 - DRILL HOLE IN LEDGE
 - GRANITE MONUMENT FOUND
 - 5/8" REBAR PROPOSED
 - 4"x4" GRANITE MONUMENT PROPOSED
 - UTILITY POLE
 - GUY ANCHOR
 - OVERHEAD UTILITY LINE
 - BELOW GROUND ELECTRIC
 - LIGHT
 - HYDRANT
 - WATER VALVE
 - WELL
 - MONITORING WELL
 - UNDERGROUND WATER LINE
 - SIGN
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SURVEYED LINE
 - STOCKADE FENCE
 - WIRE FENCE
 - GUARDRAIL
 - STONE WALL
 - CATCH BASIN
 - STORM PIPE
 - SANITARY MANHOLE
 - SANITARY PUMP STATION
 - SANITARY LINE
 - BUFFER SETBACK
 - FLAG
 - TEST PIT
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - VEGETATION
 - DRAINAGE ARROW



E.S. COFFIN
ENGINEERING
SURVEYING
E.S. COFFIN ENGINEERING & SURVEYING, INC.
432 Corn Road, P.O. Box 487, Augusta, Maine 04330
Ph: (207) 625-9473 Fax: (207) 625-9476 Toll Free: 1-800-249-9473

SHEET TITLE:		PROJECT:		DATE:		NO.		REVISIONS		DATE	
PHOTOMETRIC PLAN		GARDINER GREEN HATHAWAY HOLDINGS, LLC.		1 INCH=30 FEET		TCH					
		LOCATION: 150 DRESDEN AVENUE		JULY 19, 2022		JEC					
		TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE									
		PROJECT NO. 2020-174									
		L-1.1									

Luminaire Schedule					
Symbol	Qty	Label	Tag	Description	Mounting Height
1	S1	GE/Current	EALS03	D5SW740	15'
2	S4	GE/Current	EALS03	C4AF740	15'
5	WP2	GE/Current	EWS02D17A	F740	8'





- Maine Conserved Lands
- Maine Wetlands Characterization



NO.	REVISIONS	DATE

SHEET TITLE: SITE INVENTORY	
CLIENT & PROJECT: GARDINER GREEN HATHAWAY HOLDINGS, LLC	SCALE: 1:1,200
LOCATION: 150 DRESDEN AVENUE	DATE: JUNE 22, 2022
TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE	DRAWN BY: CSC CHECKED BY: JEC

PROJ. NO. 2021-174

SI