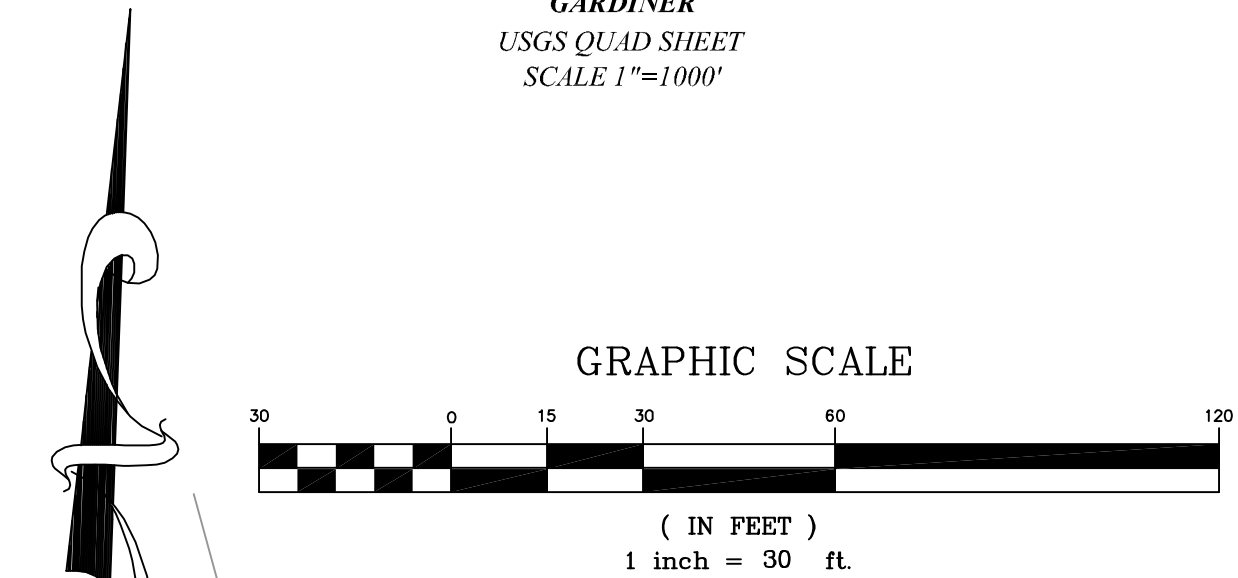


LOCUS MAP
GARDINER
USGS QUAD SHEET
SCALE 1"=1000'

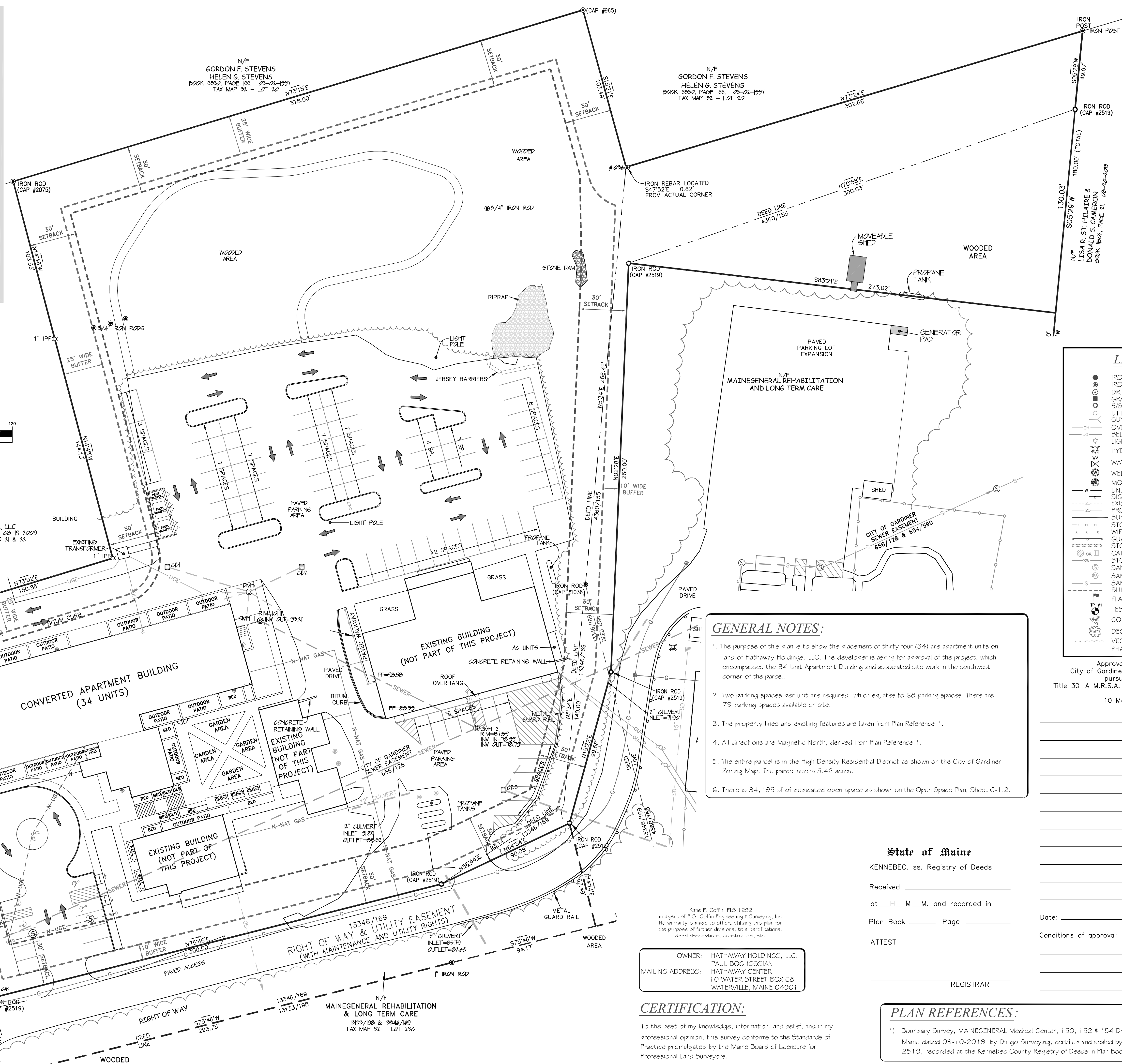


MAGNETIC NORTH
(SEE PLAN REFERENCE 1 & 2)

N/F NATHAN & JESSICA PAQUIN
BOOK 2061 PAGE 271
TAX MAP 92 - LOT 15

N/F BETTY HESLTON
BOOK 1934 PAGE 295
TAX MAP 92 - LOT 14

N/F KATLIN SALTZER
BOOK 1859 PAGE 286
TAX MAP 92 - LOT 13



LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- DRILL HOLE IN LEDGE
- GRANITE MONUMENT FOUND
- 5/8" REBAR PROPOSED
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- BELOW GROUND ELECTRIC LIGHT
- HYDRANT
- WATER VALVE
- WELL
- MONITORING WELL
- UNDERGROUND WATER LINE
- SIGN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SURVEYED LINE
- STOCKADE FENCE
- WIRE FENCE
- GUARDRAIL
- STONE WALL
- CATCH BASIN
- STORM PIPE
- SANITARY MANHOLE
- SANITARY PUMP STATION
- SANITARY LINE
- BUFFER SETBACK
- FLAG
- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- VEGETATION PHASE 1

GENERAL NOTES:

- The purpose of this plan is to show the placement of thirty four (34) apartment units on land of Hathaway Holdings, LLC. The developer is asking for approval of the project, which encompasses the 34 Unit Apartment Building and associated site work in the southwest corner of the parcel.
- Two parking spaces per unit are required, which equates to 68 parking spaces. There are 79 parking spaces available on site.
- The property lines and existing features are taken from Plan Reference 1.
- All directions are Magnetic North, derived from Plan Reference 1.
- The entire parcel is in the High Density Residential District as shown on the City of Gardiner Zoning Map. The parcel size is 5.42 acres.
- There is 34,195 sf of dedicated open space as shown on the Open Space Plan, Sheet C-1.2.

Kane P. Coffin PLS 1292
an agent of E.S. Coffin Engineering & Surveying, Inc.
No warranty is made to others relying on this plan for the purpose of further divisions, title certifications, deed descriptions, construction, etc.

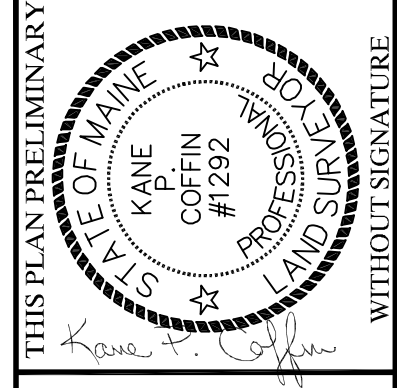
OWNER: HATHAWAY HOLDINGS, LLC.
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

CERTIFICATION:
To the best of my knowledge, information, and belief, and in my professional opinion, this survey conforms to the Standards of Practice promulgated by the Maine Board of Licensure for Professional Land Surveyors.

PLAN REFERENCES:

- "Boundary Survey, MAINEGENERAL Medical Center, 150, 152 & 154 Dresden Avenue, Gardiner, Maine dated 09-10-2019" by Dringo Surveying, certified and sealed by Shawn Tyler, Maine PLS 2519, recorded at the Kennebec County Registry of Deeds in Plan Book 2021, Page 1.21.

Approved by the
City of Gardiner Planning Board
pursuant to
Title 30-A M.R.S.A. Sections 4401-4408:
10 Members
Chairperson



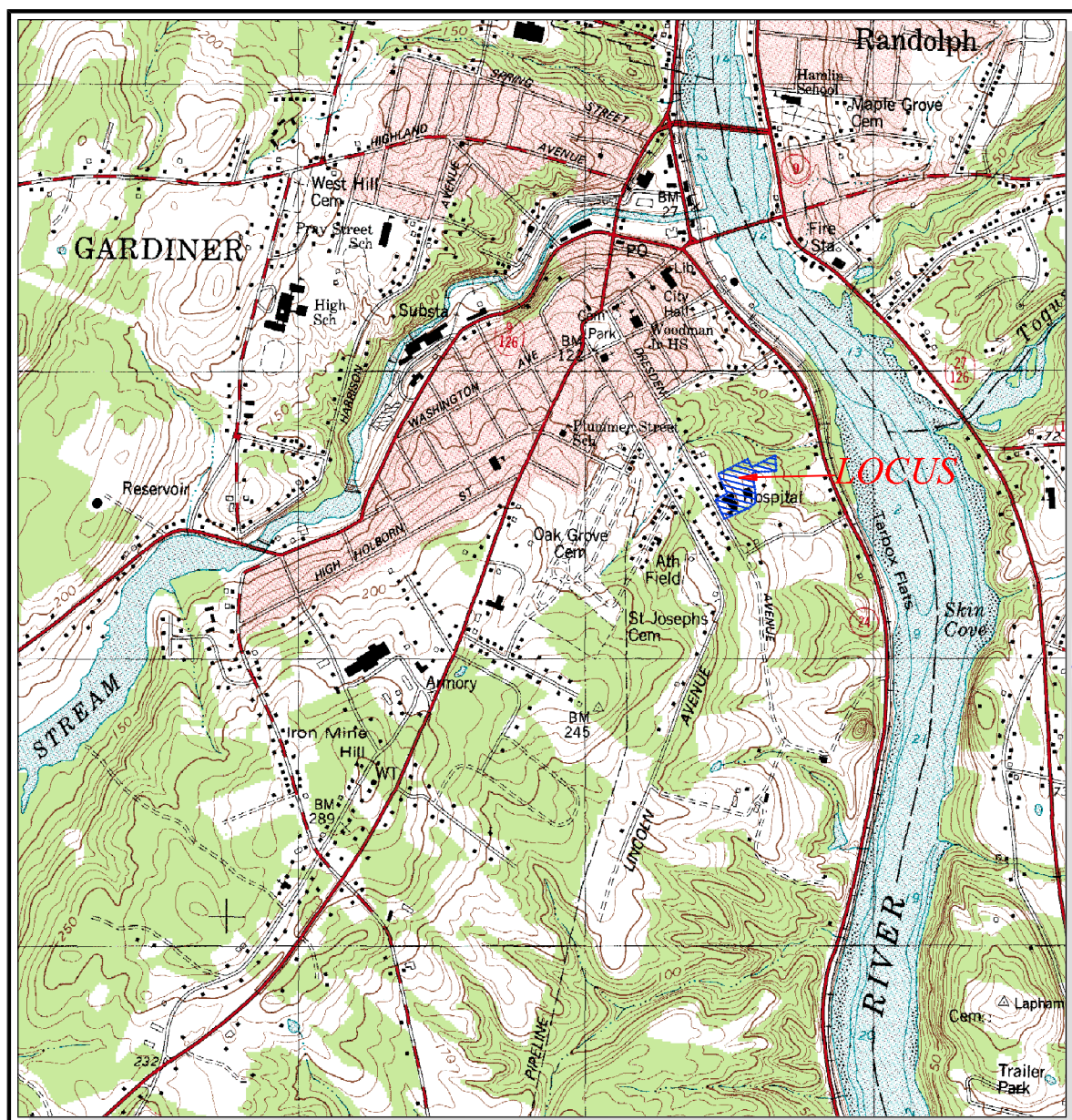
E.S. COFFIN
ENGINEERING & SURVEYING
INC.
432 Com Road, P.O. Box 4687, Augusta, Maine 04330
Ph: (207) 625-9473 Fax: (207) 625-6016 Toll Free 1-800-242-9473

NO.	REVISIONS	DATE
1	CHANGE OPEN SPACE AREA	01/23/23

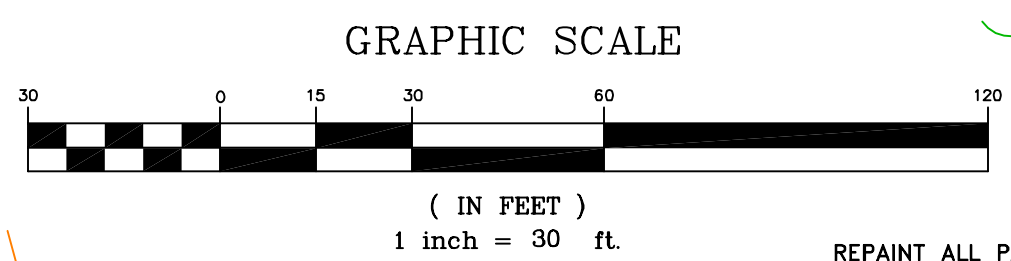
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SCALE: **1 INCH=30 FEET**
DRAWN BY: **TCH**
CHECKED BY: **JEC**
DATE: **JANUARY 23, 2023**

CLIENT/PROJECT: **GARDINER GREEN HATHAWAY HOLDINGS, LLC**
LOCATION: **150 DRESDEN AVENUE**
TOWN: **GARDINER** COUNTY: **KENNEBEC** STATE: **MAINE**

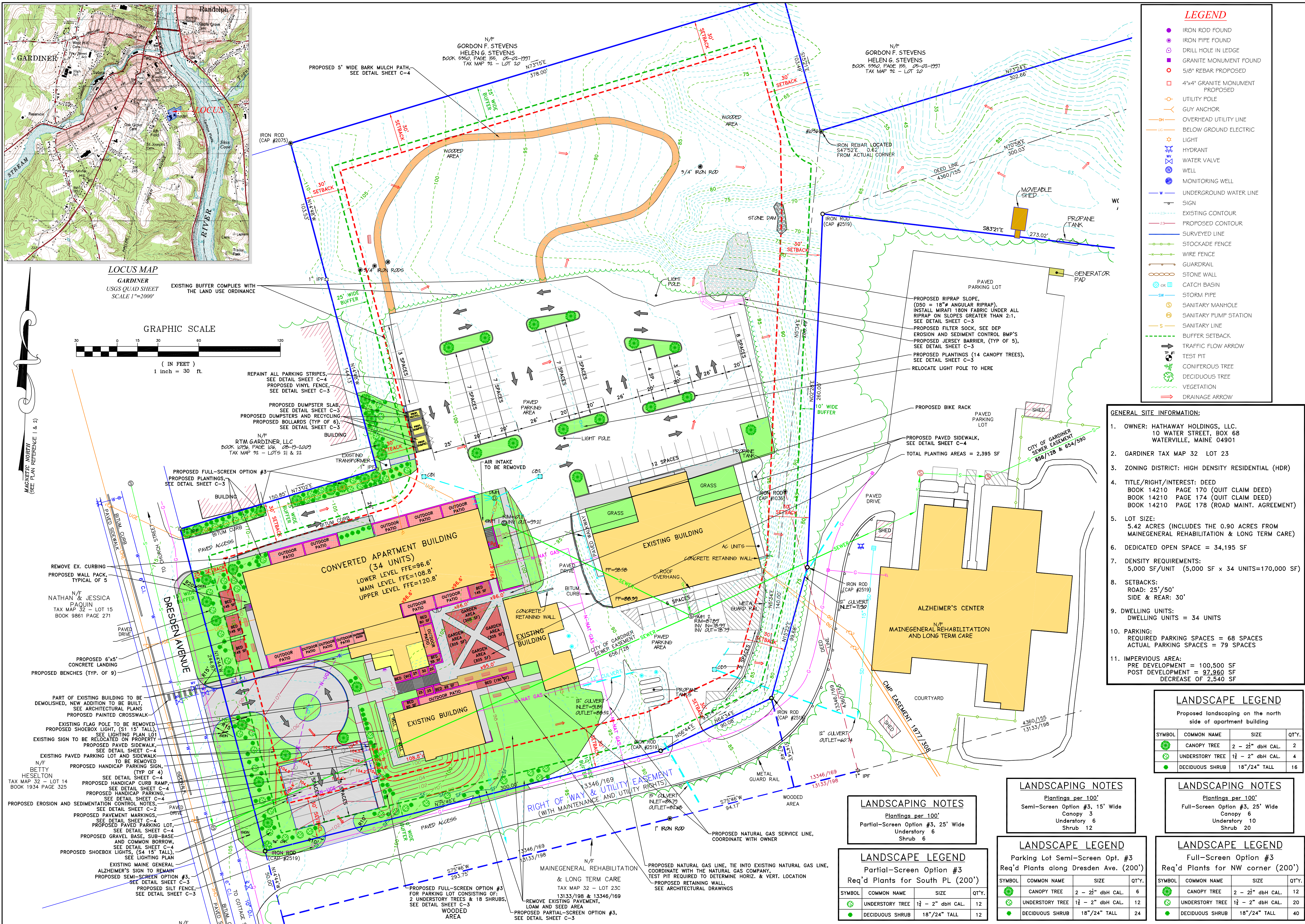
PROJ. NO. **2020-174**
REC-1



LOCUS MAP
 GARDNER
 USGS QUAD SHEET
 SCALE 1"=2000'



MAGNETIC NORTH
 (SEE PLAN REFERENCE 1 & 2)



LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- DRILL HOLE IN LEDGE
- GRANITE MONUMENT FOUND
- 5/8" REBAR PROPOSED
- 4"x4" GRANITE MONUMENT PROPOSED
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- BELOW GROUND ELECTRIC
- LIGHT
- HYDRANT
- WATER VALVE
- WELL
- MONITORING WELL
- UNDERGROUND WATER LINE
- SIGN
- EXISTING CONTOUR
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- SURVEYED LINE
- STOCKADE FENCE
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- STORM PIPE
- SANITARY MANHOLE
- SANITARY PUMP STATION
- SANITARY LINE
- BUFFER SETBACK
- TRAFFIC FLOW ARROW
- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- VEGETATION
- DRAINAGE ARROW

GENERAL SITE INFORMATION:

- OWNER: HATHAWAY HOLDINGS, LLC, 10 WATER STREET, BOX 68 WATERTOWN, MAINE 04901
- GARDNER TAX MAP 32 LOT 23
- ZONING DISTRICT: HIGH DENSITY RESIDENTIAL (HDR)
- TITLE/RIGHT/INTEREST: DEED BOOK 14210 PAGE 170 (QUIT CLAIM DEED) BOOK 14210 PAGE 174 (QUIT CLAIM DEED) BOOK 14210 PAGE 178 (ROAD MAINT. AGREEMENT)
- LOT SIZE: 5.42 ACRES (INCLUDES THE 0.90 ACRES FROM MAINEGENERAL REHABILITATION & LONG TERM CARE)
- DEDICATED OPEN SPACE = 34,195 SF
- DENSITY REQUIREMENTS: 5,000 SF/UNIT (5,000 SF x 34 UNITS=170,000 SF)
- SETBACKS: ROAD: 25'/50' SIDE & REAR: 30'
- DWELLING UNITS: DWELLING UNITS = 34 UNITS
- PARKING: REQUIRED PARKING SPACES = 68 SPACES ACTUAL PARKING SPACES = 79 SPACES
- IMPERVIOUS AREA: PRE DEVELOPMENT = 100,500 SF POST DEVELOPMENT = 97,960 SF DECREASE OF 2,540 SF

LANDSCAPE LEGEND
 Proposed landscaping on the north side of apartment building

SYMBOL	COMMON NAME	SIZE	QTY.
○	CANOPY TREE	2 - 21" dbH CAL.	2
○	UNDERSTORY TREE	1 1/2 - 2" dbH CAL.	4
○	DECIDUOUS SHRUB	18"/24" TALL	16

LANDSCAPING NOTES
 Plantings per 100'
 Semi-Screen Option #3, 15' Wide
 Understory 6
 Shrub 12

LANDSCAPING NOTES
 Plantings per 100'
 Full-Screen Option #3, 25' Wide
 Understory 10
 Shrub 20

LANDSCAPING NOTES
 Plantings per 100'
 Partial-Screen Option #3, 25' Wide
 Understory 6
 Shrub 6

LANDSCAPE LEGEND
 Parking Lot Semi-Screen Opt. #3
 Req'd Plants along Dresden Ave. (200')

SYMBOL	COMMON NAME	SIZE	QTY.
○	CANOPY TREE	2 - 21" dbH CAL.	6
○	UNDERSTORY TREE	1 1/2 - 2" dbH CAL.	12
○	DECIDUOUS SHRUB	18"/24" TALL	24

LANDSCAPE LEGEND
 Full-Screen Option #3
 Req'd Plants for NW corner (200')

SYMBOL	COMMON NAME	SIZE	QTY.
○	CANOPY TREE	2 - 21" dbH CAL.	12
○	UNDERSTORY TREE	1 1/2 - 2" dbH CAL.	20
○	DECIDUOUS SHRUB	18"/24" TALL	40

E.S. COFFIN
 PROFESSIONAL ENGINEERING & SURVEYING, INC.
 433 Com Road, P.O. Box 4687, Augusta, Maine 04330
 Ph: (207) 625-9473 Fax: (207) 625-9476 Toll Free: 1-800-248-4473

NO.	REVISIONS	DATE
1	ADD PLANTS ON WEST SIDE OF BLD & REV LEGEND	9/16/22
2	ADD TRACES, PAVEMENT, RECONFIGURE PARKING SPACES, ADD BIKE RACK, BENCHES & HCAP SPACES	11/15/22
3	ADJUST OPEN SPACE	07/23/23

SITE PLAN

SCALE: 1 INCH=30 FEET

DRAWN BY: TCH
 CHECKED BY: JEC

DATE: JULY 19, 2022

STATE: MAINE
 COUNTY: KENNEBEC

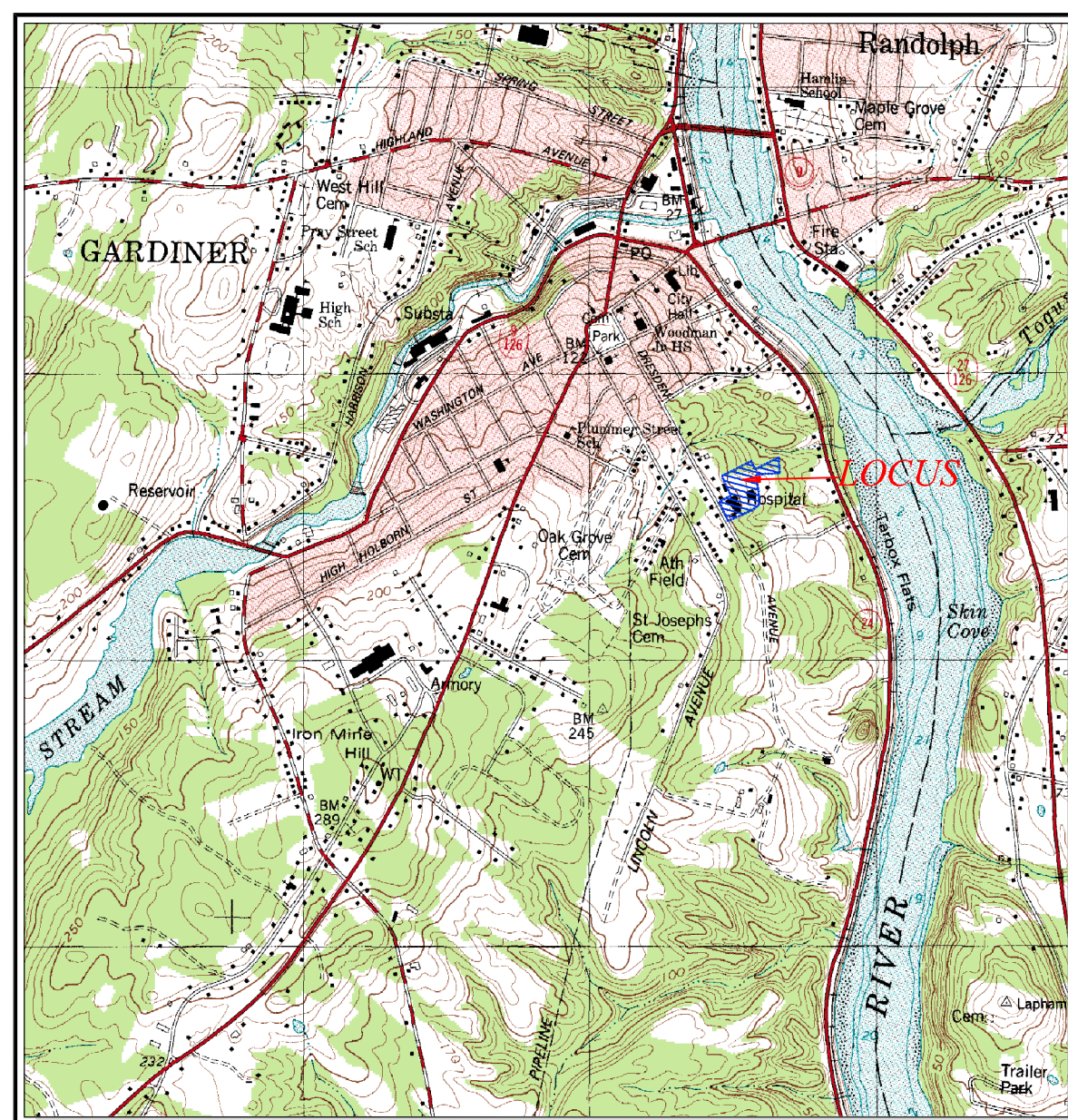
PROJECT: GARDNER GREEN HATHAWAY HOLDINGS, LLC

LOCATION: 150 DRESDEN AVENUE
 TOWN: GARDNER

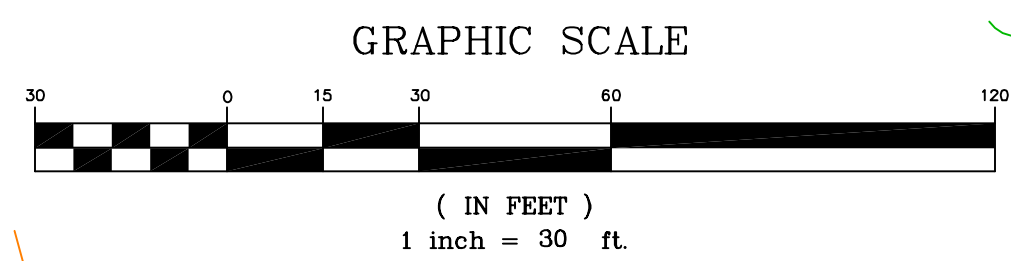
SHEET TITLE: GARDNER GREEN HATHAWAY HOLDINGS, LLC

PROJECT NO. 2020-174

C-1.1



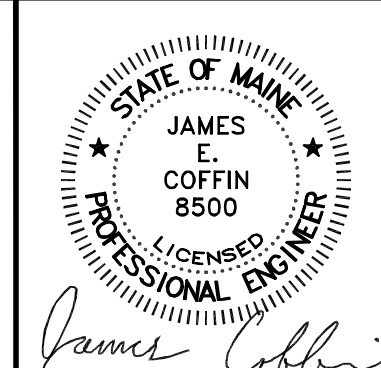
LOCUS MAP
GARDINER
USGS QUAD SHEET
SCALE 1"=2000'



TOTAL OPEN SPACE=34,195



- LEGEND**
- IRON ROD FOUND
 - IRON PIPE FOUND
 - DRILL HOLE IN LEDGE
 - GRANITE MONUMENT FOUND
 - 5/8" REBAR PROPOSED
 - 4"x4" GRANITE MONUMENT PROPOSED
 - UTILITY POLE
 - GUY ANCHOR
 - OVERHEAD UTILITY LINE
 - BELOW GROUND ELECTRIC
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432 Corn Road, P.O. Box 467, Augusta, Maine 04330
Ph: (207) 625-9473 Fax: (207) 625-9976 Toll Free: 1-800-242-9473

NO.	REVISIONS	DATE

OPEN SPACE PLAN
SCALE: 1 INCH=30 FEET
DRAWN BY: TCH
CHECKED BY: JEC

CLIENT/PROJECT: **GARDINER GREEN HATHAWAY HOLDINGS, LLC.**
LOCATION: 150 DRESDEN AVENUE
TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE
PROJ. NO. 2020-174
C-1.2



SMOKE
FREE
Campus



IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

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SCALE 1/4"=1'-0"

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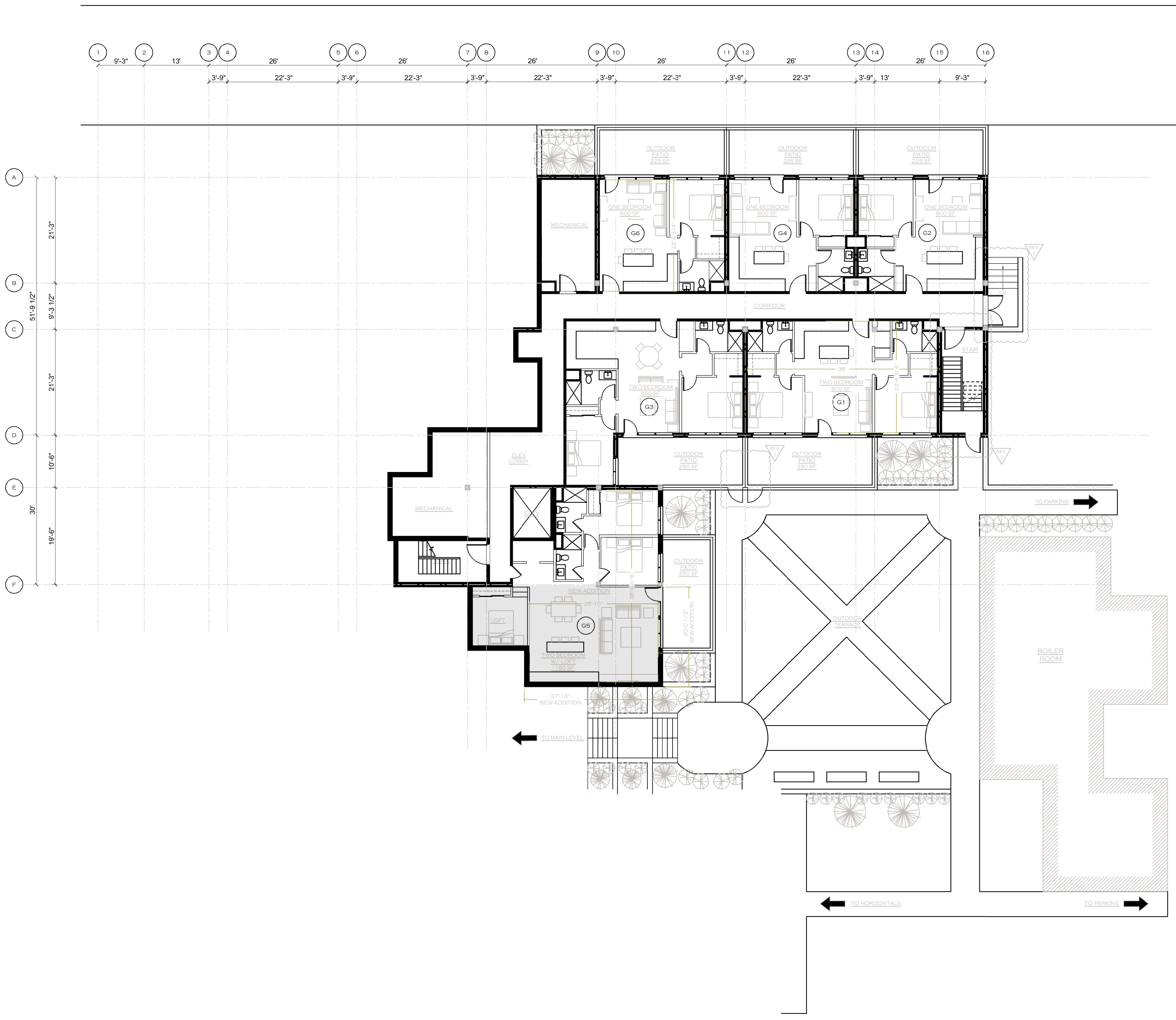
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NEWPORT COLLABORATIVE ARCHITECTS, INC

Approved by the City of Gardiner
 Planning Board pursuant to Title
 30-A M.R.S.A. Sections
 4401-4407:


Member
 Chairperson

Date:
 Conditions of approval:



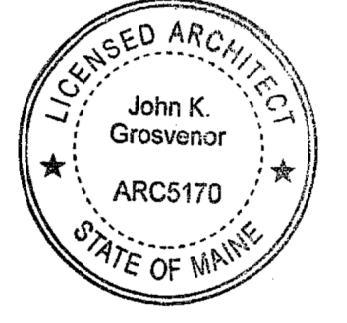
LOWER LEVEL N ↑
 6 UNITS

Architect of Record:



Newport Collaborative Architects

2 Marlborough Street
 Newport, RI 02840
 Phone: (401) 466-7900
 Web Site: newportcollaborativearchitects.com



Certification:

Consultants:

Owner:
 HATHAWAY HOLDINGS, LLC
 PAUL BOGHOSIAN
 HATHAWAY CENTER
 10 WATER STREET BOX 68
 WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:
 GARDINER GREEN

Submission Type: FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 SCHEMATIC DESIGN

Project Type:

Sheet Name:
 A-1
 LOWER LEVEL PLAN

Drawing Scale:
 3/32" = 1'

Project Number:

Date Issued:
 1-24-2023

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SCALE 1/8"=1'

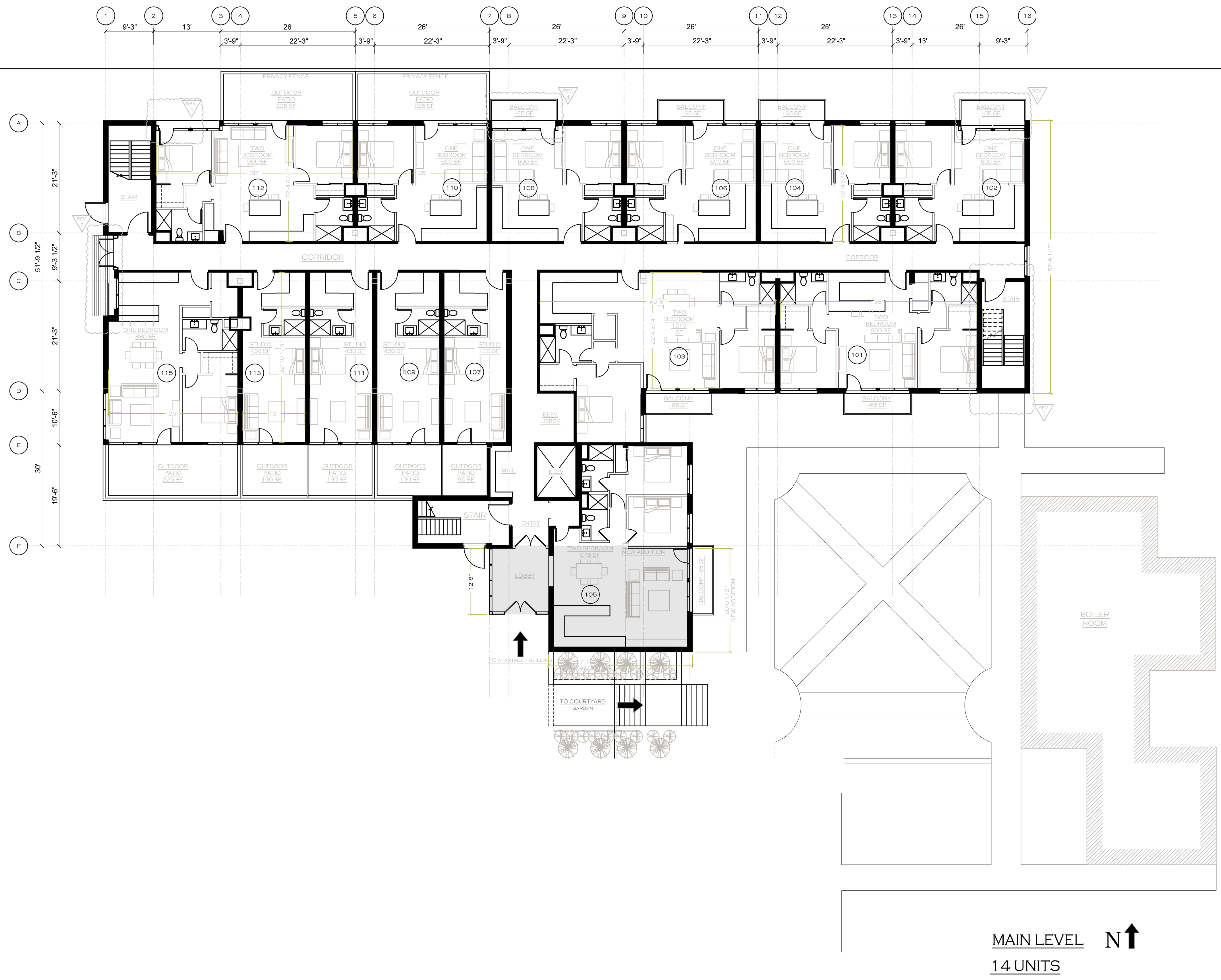
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SCALE 1/8"=1'

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SCALE 1/8"=1'

NEWPORT COLLABORATIVE ARCHITECTS, INC



MAIN LEVEL N ↑
14 UNITS

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

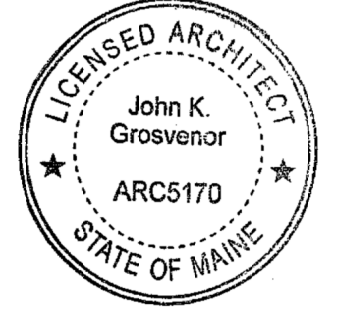
Member
Chairperson

Date:
Conditions of approval:

Architect of Record:

nca
Newport
Collaborative
Architects

2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com



Certification:

Consultants:

Owner:

HATHAWAY HOLDINGS, LLC
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:
**GARDINER
GREEN**

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:
**A-2
MAIN
LEVEL
PLAN**

Drawing Scale:
3/32" = 1'

Project Number:

Date Issued:
1-24-2023

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SCALE 1/4"=1'-0"

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SCALE 1/8"=1'-0"

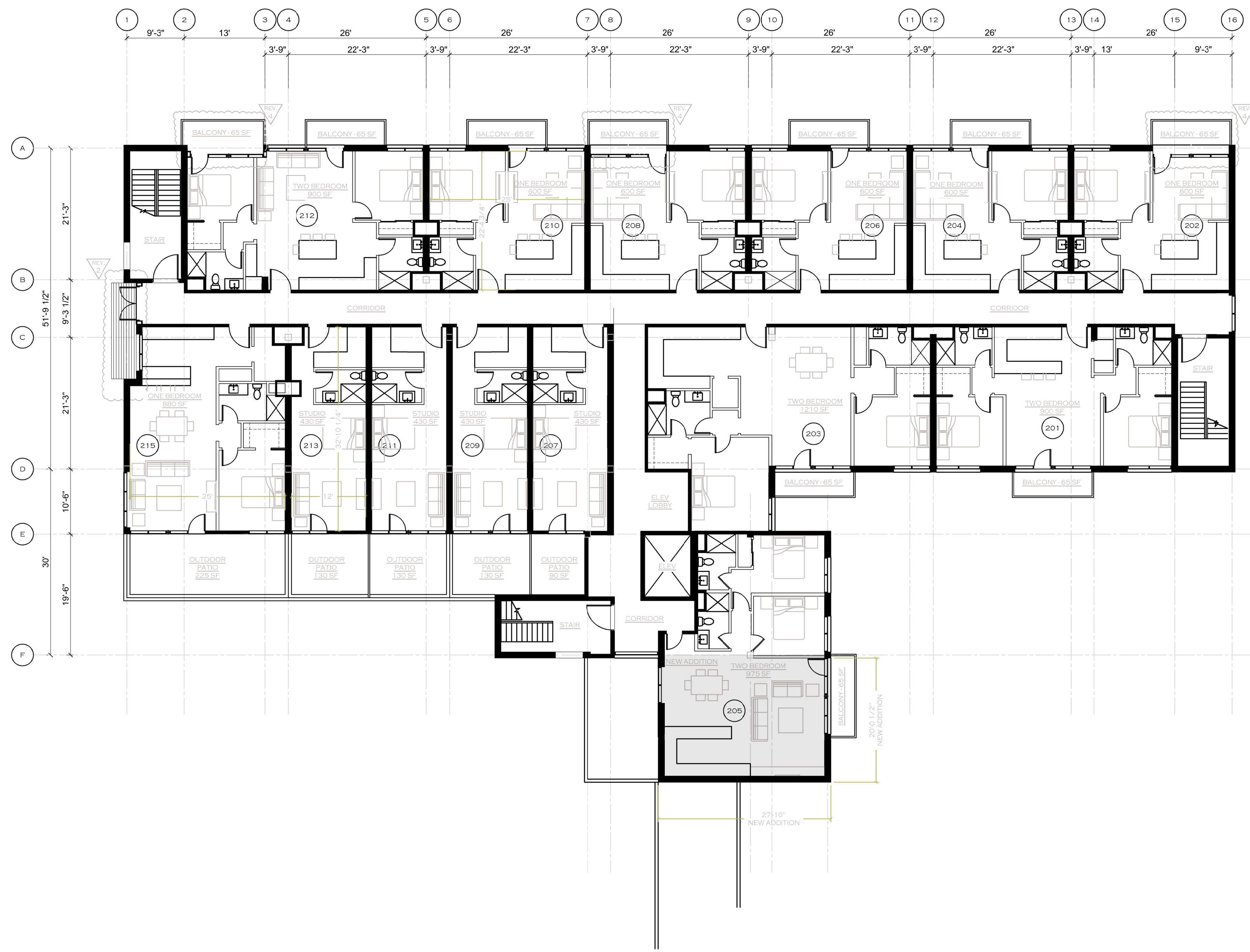
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SCALE 1/8"=1'-0"

NEWPORT COLLABORATIVE ARCHITECTS, INC



UPPER LEVEL N ↑
14 UNITS

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

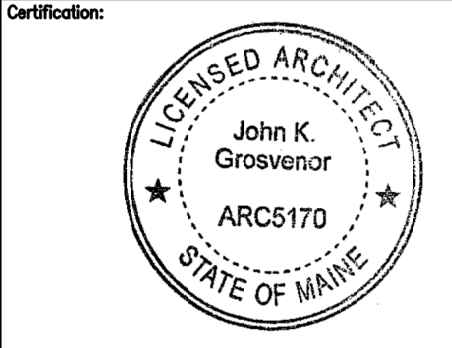
Member
Chairperson

Date:
Conditions of approval:

Architect of Record:



2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com



Consultants:

Owner:

HATHAWAY HOLDINGS, LLC
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:

GARDINER
GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:

A-3
UPPER
LEVEL
PLAN

Drawing Scale:

3/32" = 1'

Project Number:

Date Issued:

1-24-2023

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SCALE 36 3/4" = 1'-0"

SCALE 37" = 1'-0"

SCALE 37 1/4" = 1'-0"

SCALE 37 1/2" = 1'-0"

SCALE 37 3/4" = 1'-0"

SCALE 38" = 1'-0"

SCALE 38 1/4" = 1'-0"

SCALE 38 1/2" = 1'-0"

SCALE 38 3/4" = 1'-0"

SCALE 39" = 1'-0"

SCALE 39 1/4" = 1'-0"

SCALE 39 1/2" = 1'-0"

SCALE 39 3/4" = 1'-0"

SCALE 40" = 1'-0"

SCALE 40 1/4" = 1'-0"

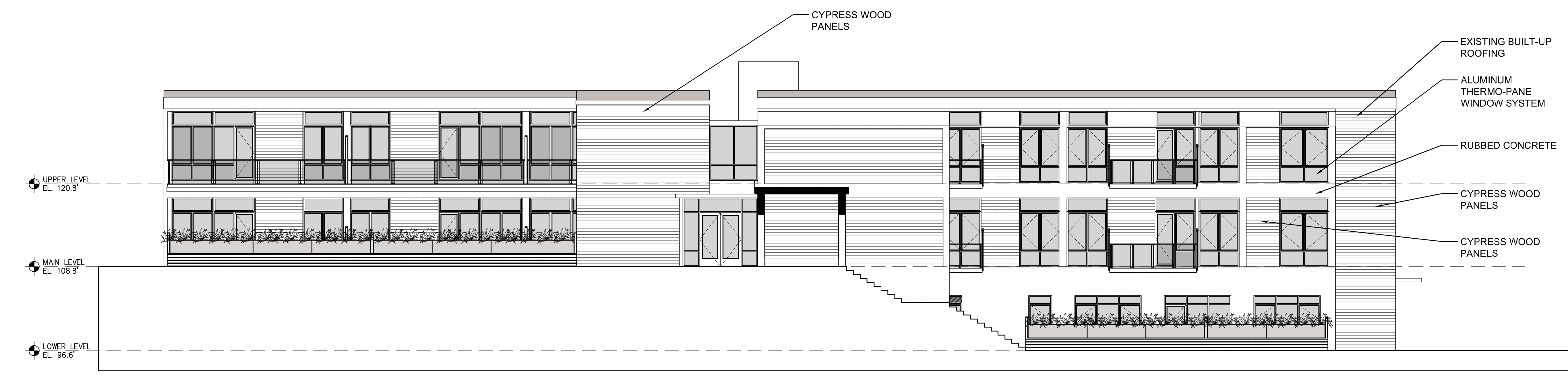
SCALE 40 1/2" = 1'-0"

SCALE 40 3/4" = 1'-0"

NEWPORT COLLABORATIVE ARCHITECTS, INC



01 NORTH ELEVATION
A-100 1/8"=1'-0"



02 SOUTH ELEVATION
A-100 1/8"=1'-0"

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

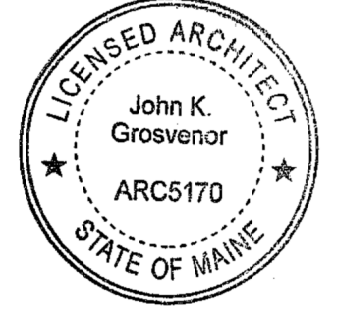
Member
Chairperson

Date:
Conditions of approval:

Architect of Record:

Newport Collaborative Architects

2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com



Consultants:

Owner:
HATHAWAY HOLDINGS, LLC
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:
GARDINER GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:
B-1
NORTH &
SOUTH
ELEVATIONS

Drawing Scale:
1/8" = 1'

Project Number:

Date Issued:
1-24-2023

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

SCALE 1/8"=1'-0"

SCALE 1/4"=1'-0"

SCALE 1/2"=1'-0"

SCALE 3/4"=1'-0"

SCALE 1"=1'-0"

SCALE 1 1/4"=1'-0"

SCALE 1 1/2"=1'-0"

SCALE 1 3/4"=1'-0"

SCALE 2"=1'-0"

SCALE 3"=1'-0"

SCALE 4"=1'-0"

SCALE 6"=1'-0"

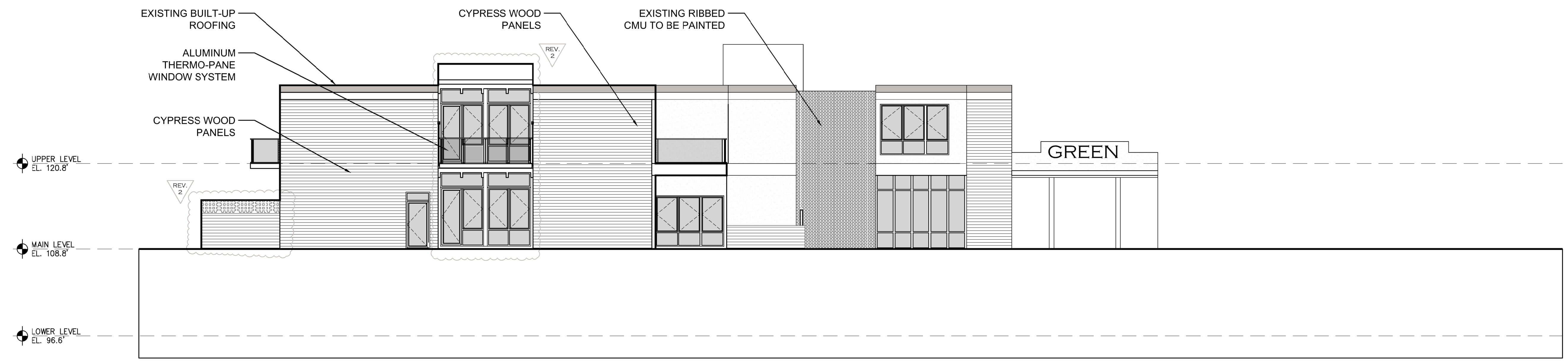
SCALE 12"=1'-0"

SCALE 24"=1'-0"

NEWPORT COLLABORATIVE ARCHITECTS, INC



01 EAST ELEVATION
A-101 1/8"=1'-0"




02 WEST ELEVATION
A-101 1/8"=1'-0"

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

Member
Chairperson

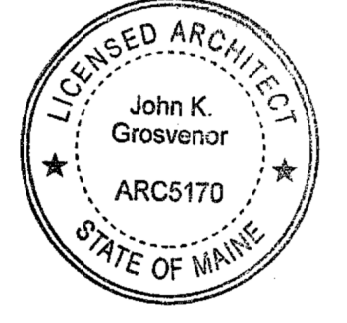
Date:
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HATHAWAY CENTER
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WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:
GARDINER GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:
B-2
EAST &
WEST
ELEVATIONS

Drawing Scale: 1/8" = 1'
Project Number:
Date Issued: 1-24-2023