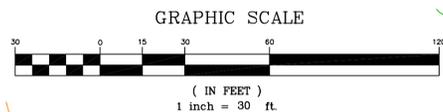


LOCUS MAP
GARDINER
USGS QUAD SHEET
SCALE 1"=2000'



N/F
GORDON F. STEVENS
HELEN G. STEVENS
BOOK 5950 PAGE 151 08-29-1997
TAX MAP 92 - LOT 20

N/F
GORDON F. STEVENS
HELEN G. STEVENS
BOOK 5950 PAGE 151 08-29-1997
TAX MAP 92 - LOT 20

LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- DRILL HOLE IN LEDGE
- GRANITE MONUMENT FOUND
- 5/8" REBAR PROPOSED
- 4"x4" GRANITE MONUMENT PROPOSED
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- BELOW GROUND ELECTRIC
- LIGHT
- HYDRANT
- WATER VALVE
- WELL
- MONITORING WELL
- UNDERGROUND WATER LINE
- SIGN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SURVEYED LINE
- STOCKADE FENCE
- WIRE FENCE
- GUARDRAIL
- STONE WALL
- CATCH BASIN
- STORM PIPE
- SANITARY MANHOLE
- SANITARY PUMP STATION
- SANITARY LINE
- BUFFER SETBACK
- FLAG
- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- VEGETATION
- DRAINAGE ARROW



E.S. COFFIN
PLANNING
ENGINEERING & SURVEYING, INC.
432 Corn Road, P.O. Box 4687, Augusta, Maine 04330
PH: (207) 625-9473 Fax: (207) 625-9916 Toll Free: 1-800-242-4473

NO.	REVISIONS	DATE

- GENERAL SITE INFORMATION:**
- OWNER: HATHAWAY HOLDINGS, LLC, 10 WATER STREET, BOX 68 WATERTVILLE, MAINE 04901
 - GARDINER TAX MAP 32 LOT 23
 - ZONING DISTRICT: HIGH DENSITY RESIDENTIAL (HDR)
 - TITLE/RIGHT/INTEREST: DEED BOOK 14210 PAGE 170 (QUIT CLAIM DEED) BOOK 14210 PAGE 174 (QUIT CLAIM DEED) BOOK 14210 PAGE 178 (ROAD MAINT. AGREEMENT)
 - LOT SIZE: 5.42 ACRES (INCLUDES THE 0.90 ACRES FROM MAINEGENERAL REHABILITATION & LONG TERM CARE)
 - DEDICATED OPEN SPACE = 56,000 SF
 - DENSITY REQUIREMENTS: 5,000 SF/UNIT (5,000 SF x 34 UNITS=170,000 SF)
 - SETBACKS: ROAD: 25'/50' SIDE & REAR: 30'
 - DWELLING UNITS: DWELLING UNITS = 34 UNITS
 - PARKING: REQUIRED PARKING SPACES = 68 SPACES ACTUAL PARKING SPACES = 103 SPACES
 - IMPERVIOUS AREA: DECREASE OF 4,665 SF

LANDSCAPE LEGEND
Proposed landscaping on the north side of apartment building

SYMBOL	COMMON NAME	SIZE	QTY.
○	UNDERSTORY TREE	1 1/2 - 2" dbH CAL.	4
●	DECIDUOUS SHRUB	18"/24" TALL	16

LANDSCAPING NOTES
Plantings per 100'
Full-Screen Option #3, 25' Wide
Canopy 6
Understory 10
Shrub 20

LANDSCAPE LEGEND
Full-Screen Option #3
Required Plantings for 200 lf

SYMBOL	COMMON NAME	SIZE	QTY.
○	CANOPY TREE	2 - 2 1/2" dbH CAL.	12
○	UNDERSTORY TREE	1 1/2 - 2" dbH CAL.	20
●	DECIDUOUS SHRUB	18"/24" TALL	40

LANDSCAPING NOTES
Plantings per 100'
Partial-Screen Option #3, 25' Wide
Understory 3
Shrub 36

LANDSCAPE LEGEND
Parking Lot Full-Screen Opt. #3
Required Plantings for 50 lf

SYMBOL	COMMON NAME	SIZE	QTY.
○	UNDERSTORY TREE	1 1/2 - 2" dbH CAL.	2
●	DECIDUOUS SHRUB	18"/24" TALL	18

LANDSCAPING NOTES
Plantings per 100'
Partial-Screen Option #3, 25' Wide
Understory 6
Shrub 6

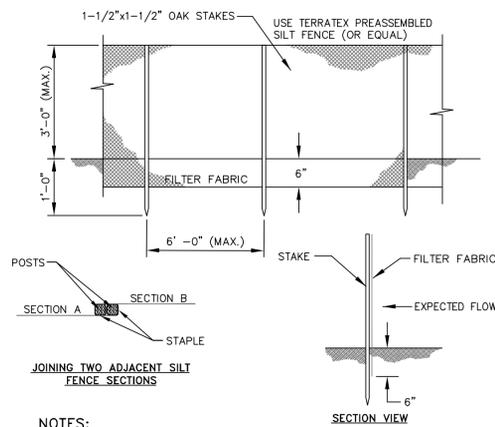
LANDSCAPE LEGEND
Partial-Screen Option #3
Required Plantings for 400 lf

SYMBOL	COMMON NAME	SIZE	QTY.
○	UNDERSTORY TREE	1 1/2 - 2" dbH CAL.	24
●	DECIDUOUS SHRUB	18"/24" TALL	24



SITE PLAN
SCALE: 1 INCH=30 FEET
DRAWN BY: TCH
CHECKED BY: JEC
DATE: APRIL 12, 2022

GARDINER GREEN HATHAWAY HOLDINGS, LLC.
CLIENT/PROJECT:
LOCATION: 150 DRESDEN AVENUE
TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE
PROJ. NO. 2020-174
C-1.1



NOTES:

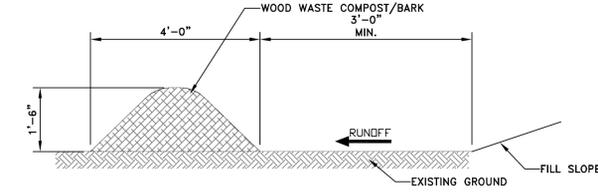
SILT FENCE AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDDED.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.

SILT FENCE DETAIL
NOT TO SCALE



WOOD WASTE COMPOST/BARK FILTER BERMS

THE FILTER BERM SHALL CONSIST OF A WOOD WASTE COMPOST/BARK MULCH MIX OR RECYCLED COMPOSTED BARK FLUME GRIT AND FRAGMENTED WOOD GENERATED FROM WATER-FLUME LOG HANDLING SYSTEMS. COMPOSTED MIXES CAN BE USED UPON APPROVAL OF THE OFFICE OF ENVIRONMENTAL SERVICES LANDSCAPE UNIT.

THE MIX SHALL CONFORM TO THE FOLLOWING STANDARDS:

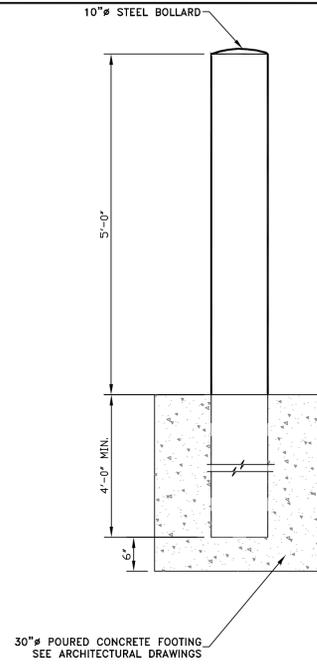
- MOISTURE CONTENT - 30-60%
- pH - 5.0-8.0
- SCREEN SIZE - 100% LESS THAN 3", MAXIMUM 70% LESS THAN 1"
- NO LESS THAN 40% ORGANIC MATERIAL (DRY WEIGHT) BY LOSS OF IGNITION
- NO STONES LARGER THAN 2" IN DIAMETER

THE COMPOSTED BERM SHALL BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR.

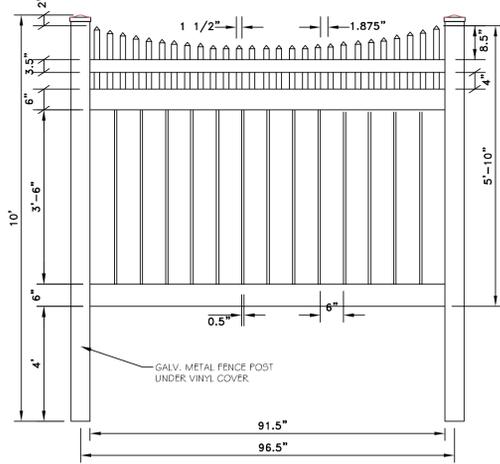
NOTE:

WOOD WASTE COMPOST/BARK FILTER BERMS MAY BE USED IN COMBINATION WITH SILT FENCE TO IMPROVE SEDIMENT REMOVAL AND PREVENT CLOGGING OF THE WOOD WASTE COMPOST/BARK BERM BY LARGER SEDIMENT PARTICLES. (SILT FENCE PLACED TO FILTER RUNOFF BEFORE WOOD WASTE COMPOST/BARK)

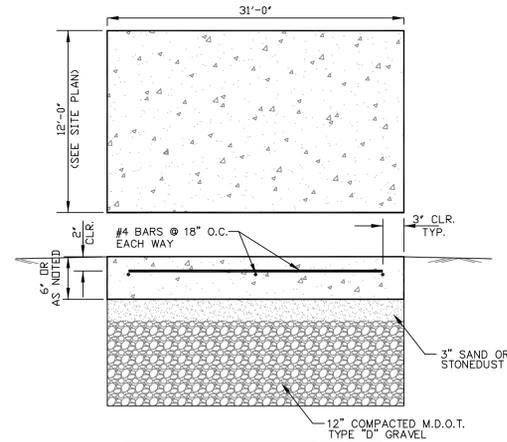
**WOOD WASTE COMPOST/BARK
FILTER BERM ALTERNATIVE**
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



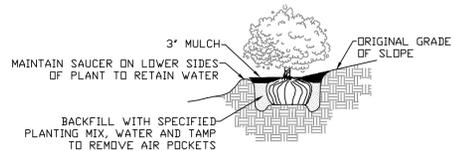
VINYL FENCE DETAIL
NOT TO SCALE



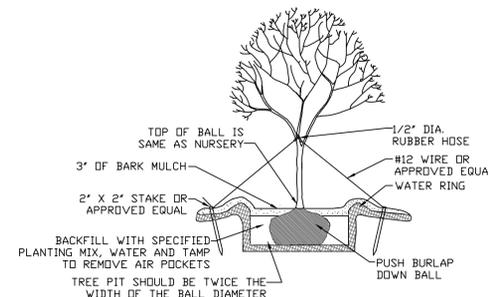
CONCRETE SPECIFICATION:

- 4000 P.S.I.
- 3/4" STONE
- 6% AIR ENTRACEMENT
- SLUMP = 3" ± 1"
- FINE BROOM FINISH

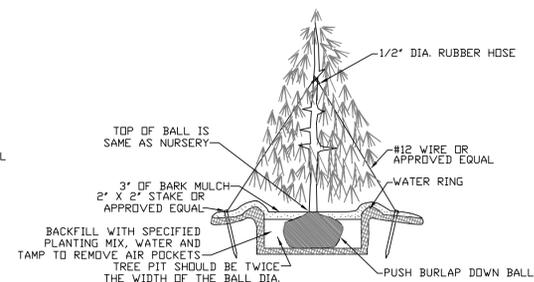
TYPICAL DUMPSTER SLAB DETAIL
NOT TO SCALE



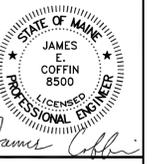
SHRUB PLANTING ON SLOPES
NOT TO SCALE



DECIDUOUS TREE PLANTING
NOT TO SCALE



CONIFEROUS TREE PLANTING
NOT TO SCALE



NO.	REVISIONS	DATE

DETAILS II	SCALE: AS SHOWN	DRAWN BY: TGH
	DATE: APRIL 12, 2022	CHECKED BY: JEC

CLIENT/PROJECT:	GARDINER GREEN HATHAWAY HOLDINGS, LLC
LOCATION:	150 DRESDEN AVENUE
TOWN:	GARDINER
COUNTY:	KENNEBEC
STATE:	MAINE

PROJ. NO. 2020-174

GENERAL NOTES

1. AGGREGATE FOR GRAVEL BASE

AGGREGATE FOR GRAVEL BASE SHALL BE SCREENED OR CRUSHED GRAVEL OF HARD DURABLE PARTICLES FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES. THE GRADATION OF THE PART THAT PASSES A 3 INCH SIEVE SHALL MEET THE GRADING REQUIREMENTS OF THE FOLLOWING TABLE:

SIEVE DESIGNATION	PERCENTAGE BY WEIGHT PASSING SQUARE MESH SIEVES			
	TYPE "A" AGGREGATE	TYPE "D" AGGREGATE	STRUCTURAL FILL	
2" / 3" / 4"	100 (2")	100 (3")	100 (4")	
1/2 INCH	45-70	35-80	90-100	
1/4 INCH	30-55	25-65	25-90	
No. 40	0-20	0-30	0-30	
No. 200	0-6	0-7	0-5	

TYPE "A" AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 2 INCH SQUARE MESH SIEVE.

TYPE "D" AGGREGATE SHALL NOT CONTAIN PARTICLES WHICH WILL NOT PASS THE 6 INCH SQUARE MESH SIEVE.

EACH LAYER AS APPLIED SHALL BE ROLLED WITH A 20 TON ROLLER. THE MATERIAL AS SPREAD SHALL BE WELL MIXED WITH NO POCKETS OF EITHER FINE OR COARSE MATERIAL. OVER SIZED STONES SHALL BE REMOVED FROM THE AGGREGATE.

EACH LAYER OF AGGREGATE SHALL BE PLACED OVER THE FULL WIDTH OF THE SECTION. AGGREGATE BASE AND SUB-BASE COURSES MAY BE PLACED UPON FROZEN SURFACES WHEN SUCH SURFACES HAVE BEEN PROPERLY CONSTRUCTED.

THE SURFACE OF EACH LAYER SHALL BE MAINTAINED DURING COMPACTION OPERATIONS IN SUCH A MANNER THAT A UNIFORM TEXTURE IS PRODUCED AND THE AGGREGATE IS FIRMLY KEYS. THE MOISTURE CONTENT OF THE MATERIAL SHALL BE MAINTAINED AT THE PROPER PERCENT TO ATTAIN THE REQUIRED COMPACTION AND STABILITY. COMPACTION OF EACH LAYER SHALL BE CONTINUED UNTIL DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 MODIFIED PROCTOR DENSITY HAS BEEN ACHIEVED FOR THE FULL WIDTH AND DEPTH OF EACH LAYER AS APPLIED.

THE SURFACE TOLERANCE OF EACH BASE COURSE AS APPLIED SHALL BE 3/8 INCHES ABOVE OR BELOW THE REQUIRED TEMPLATE LINES.

2. AGGREGATE FOR SUB-BASE

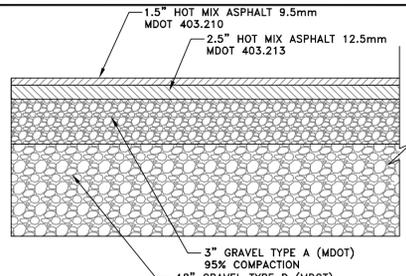
AGGREGATE FOR SUB-BASE SHALL BE TYPE "D" (MDOT). IT SHALL BE FREE FROM VEGETABLE MATTER, LUMPS OR BALLS OF CLAY AND OTHER DELETERIOUS SUBSTANCES.

3. COMMON BORROW

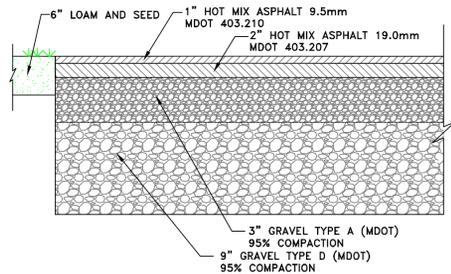
COMMON BORROW SHALL CONSIST OF EARTH, SUITABLE FOR EMBANKMENT CONSTRUCTION. IT SHALL BE FREE FROM FROZEN MATERIAL, PERISHABLE RUBBISH, PEAT AND OTHER UNSUITABLE MATERIAL.

THE MOISTURE CONTENT SHALL BE SUFFICIENT TO PROVIDE THE REQUIRED COMPACTION AND STABLE EMBANKMENT. IN NO CASE SHALL THE MOISTURE CONTENT EXCEED 4 PERCENT ABOVE OPTIMUM.

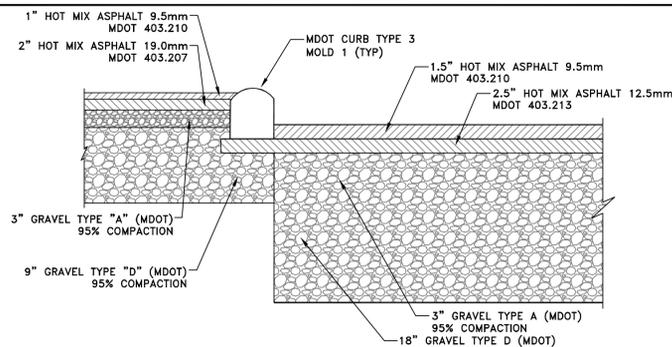
ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAX. DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



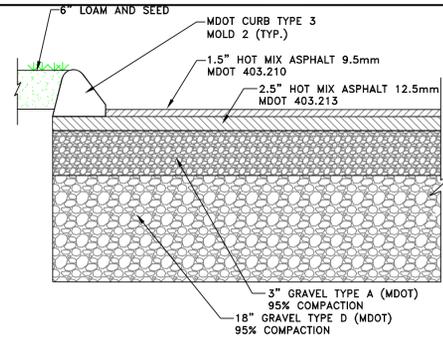
PAVED PARKING AND DRIVE DETAIL
NOT TO SCALE



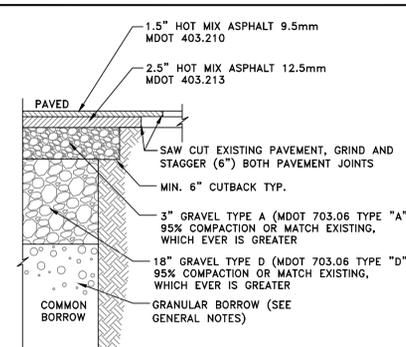
PAVED SIDEWALK DETAIL
NOT TO SCALE



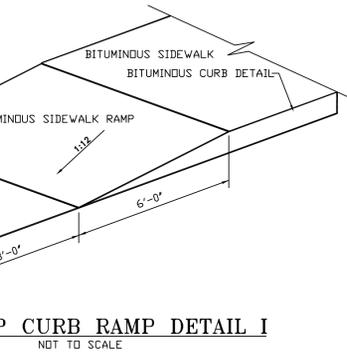
PAVED SIDEWALK & PAVED CURB DETAIL
NOT TO SCALE



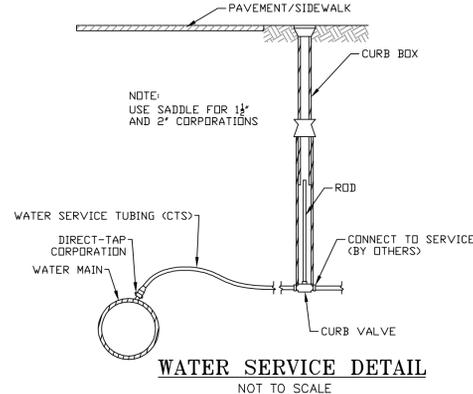
BITUMINOUS CAPE COD CURB DETAIL (IN AREAS WITH NO SIDEWALK)
NOT TO SCALE



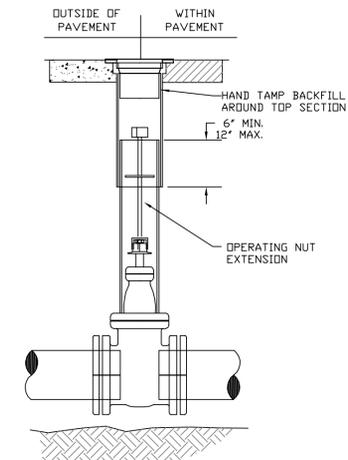
BUTT JOINT DETAIL
NOT TO SCALE



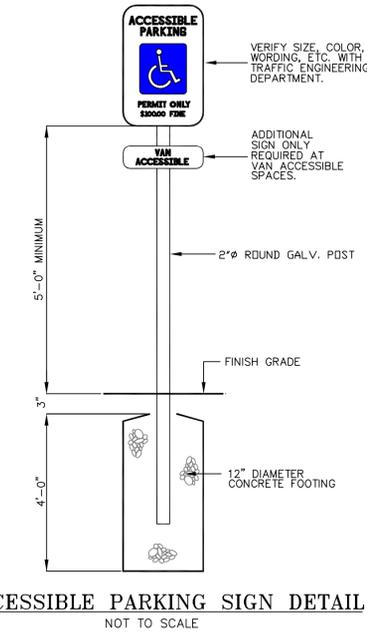
HANDICAP CURB RAMP DETAIL I
NOT TO SCALE



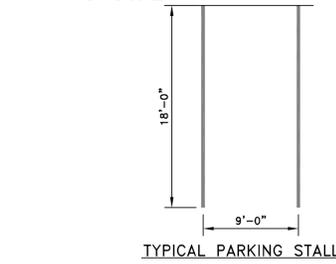
WATER SERVICE DETAIL
NOT TO SCALE



GATE VALVE DETAIL
NOT TO SCALE



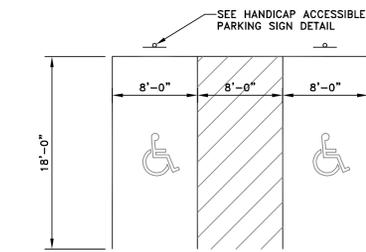
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



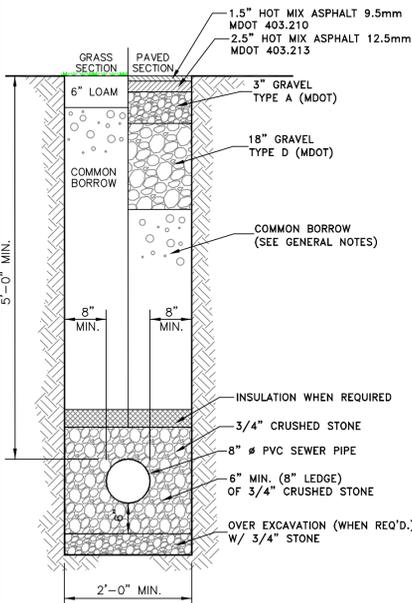
TYPICAL PARKING STALL

SPECIFICATIONS
PAVEMENT MARKING PAINT FOR FINAL AND TEMPORARY PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF AASHTO M248. EITHER TYPE N (REGULAR TRAFFIC PAINT) OR TYPE F (FAST DRY TRAFFIC PAINT) MAY BE USED.
ALL PAVEMENT LINES AND MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
IMMEDIATELY BEFORE APPLYING THE PAVEMENT PAINT TO THE PAVEMENT OR CURB, THE SURFACE SHALL BE DRY AND ENTIRELY FREE FROM DIRT, GREASE, OIL OR OTHER FOREIGN MATTER.
ALL PAVEMENT MARKING LINES SHALL BE 4" SOLID WHITE.

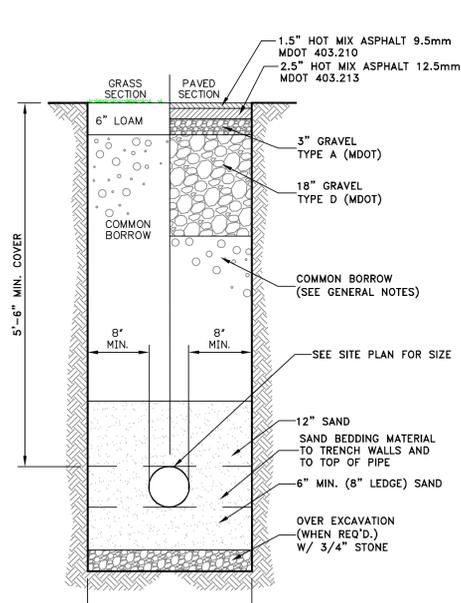
PAVEMENT MARKING DETAIL & SPECIFICATION



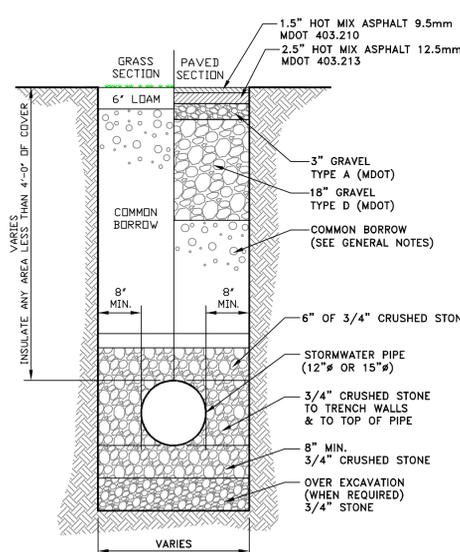
HANDICAP PARKING DETAIL
NOT TO SCALE



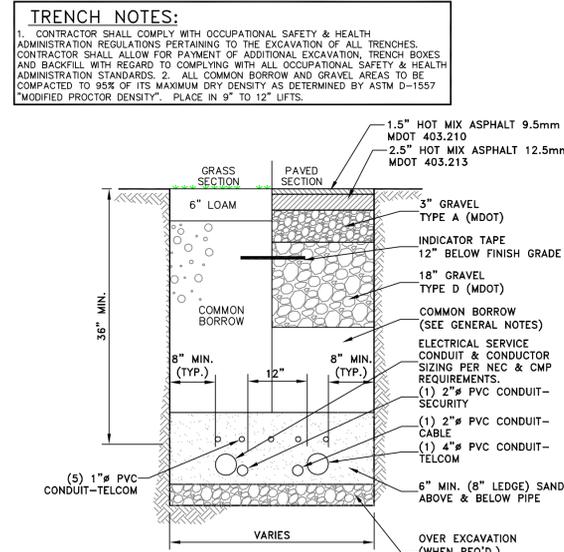
TYPICAL SANITARY TRENCH SECTION
NOT TO SCALE



WATER SERVICE TRENCH SECTION
NOT TO SCALE



TYPICAL STORMWATER TRENCH SECTION
NOT TO SCALE



TYPICAL ELECTRICAL/SITE LIGHTING TRENCH SECTION
NOT TO SCALE

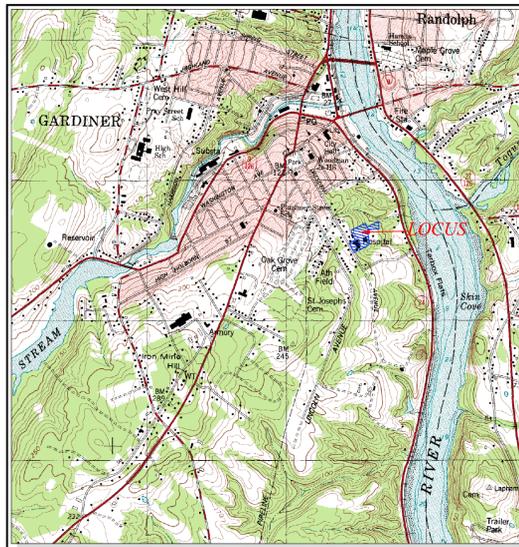
TRENCH NOTES:
1. CONTRACTOR SHALL COMPLY WITH OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION REGULATIONS PERTAINING TO THE EXCAVATION OF ALL TRENCHES. CONTRACTOR SHALL ALLOW FOR PAYMENT OF ADDITIONAL EXCAVATION, TRENCH BOXES AND BACKFILL WITH REGARD TO COMPLYING WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION STANDARDS. 2. ALL COMMON BORROW AND GRAVEL AREAS TO BE COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 "MODIFIED PROCTOR DENSITY". PLACE IN 9" TO 12" LIFTS.



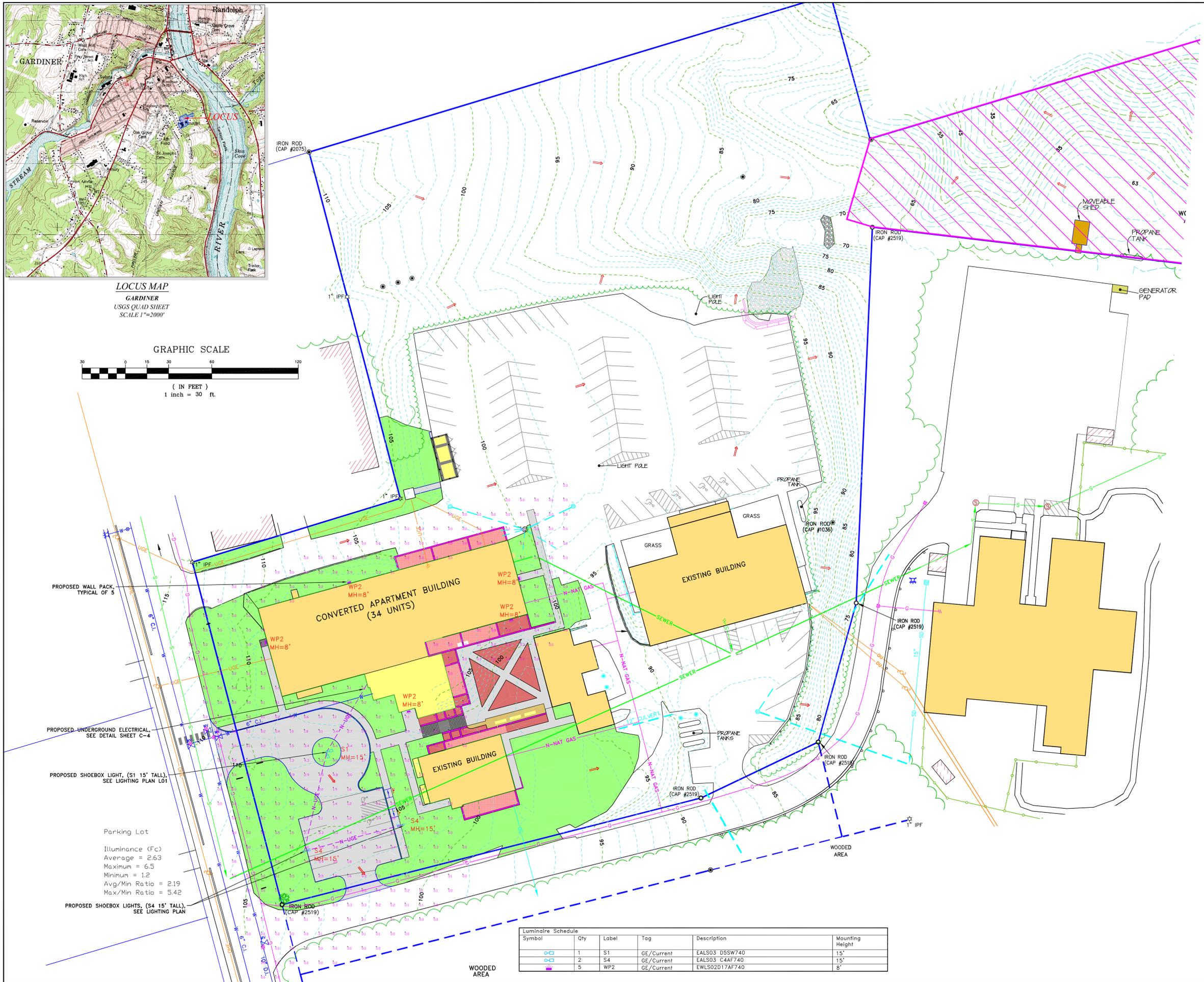
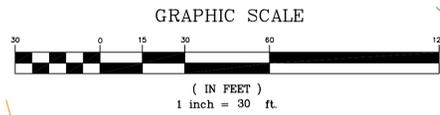
E.S. COFFIN
ENGINEERING & SURVEYING, INC.
432 Corn Road, P.O. Box 4687, Augusta, Maine 04330
Ph: (207) 625-9475 Fax: (207) 625-9476 Toll Free: 1-800-249-9475

NO.	REVISIONS	DATE

DETAILS III
SCALE: AS SHOWN
DATE: APRIL 12, 2022
DRAWN BY: TCH
CHECKED BY: JEC
CLIENT/PROJECT: GARDINER GREEN HATHAWAY HOLDINGS, LLC
LOCATION: 150 DRESDEN AVENUE
TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE

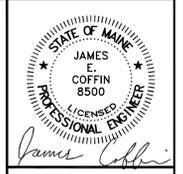


LOCUS MAP
GARDINER
USGS QUAD SHEET
SCALE 1"=2000'



LEGEND

- IRON ROD FOUND
- IRON PIPE FOUND
- DRILL HOLE IN LEDGE
- GRANITE MONUMENT FOUND
- 5/8" REBAR PROPOSED
- 4"x4" GRANITE MONUMENT PROPOSED
- UTILITY POLE
- GUY ANCHOR
- OVERHEAD UTILITY LINE
- BELOW GROUND ELECTRIC
- LIGHT
- HYDRANT
- WATER VALVE
- WELL
- MONITORING WELL
- UNDERGROUND WATER LINE
- SIGN
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SURVEYED LINE
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- GUARDRAIL
- STONE WALL
- CATCH BASIN
- STORM PIPE
- SANITARY MANHOLE
- SANITARY PUMP STATION
- SANITARY LINE
- BUFFER SETBACK
- FLAG
- TEST PIT
- CONIFEROUS TREE
- DECIDUOUS TREE
- VEGETATION
- DRAINAGE ARROW



E.S. COFFIN
ENGINEERING & SURVEYING, INC.
432 Corn Road, P.O. Box 467, Argowen, Maine 04830
Ph: (207) 625-9473 Fax: (207) 625-9476 Toll Free: 1-800-248-9473

NO.	REVISIONS	DATE

PHOTOMETRIC PLAN
SCALE: 1 INCH=30 FEET
DRAWN BY: TCH
CHECKED BY: JEC

CLIENT/PROJECT: **GARDINER GREEN HATHAWAY HOLDINGS, LLC.**
LOCATION: 150 DRESDEN AVENUE
TOWN: GARDINER COUNTY: KENNEBEC STATE: MAINE

PROJ. NO. 2020-174

L-1.1

Symbol	Qty	Label	Tag	Description	Mounting Height
○	1	S1	GE/Current	EALS03 D5SW740	15'
○	2	S4	GE/Current	EALS03 C4AF740	15'
■	5	WP2	GE/Current	EWS02D17AF740	8'

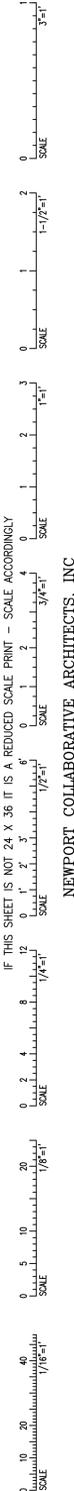
Parking Lot
Illuminance (Fc)
Average = 2.63
Maximum = 6.5
Minimum = 1.2
Avg/Min Ratio = 2.19
Max/Min Ratio = 5.42

PROPOSED SHOEBOX LIGHT, (S1 15' TALL),
SEE LIGHTING PLAN L01

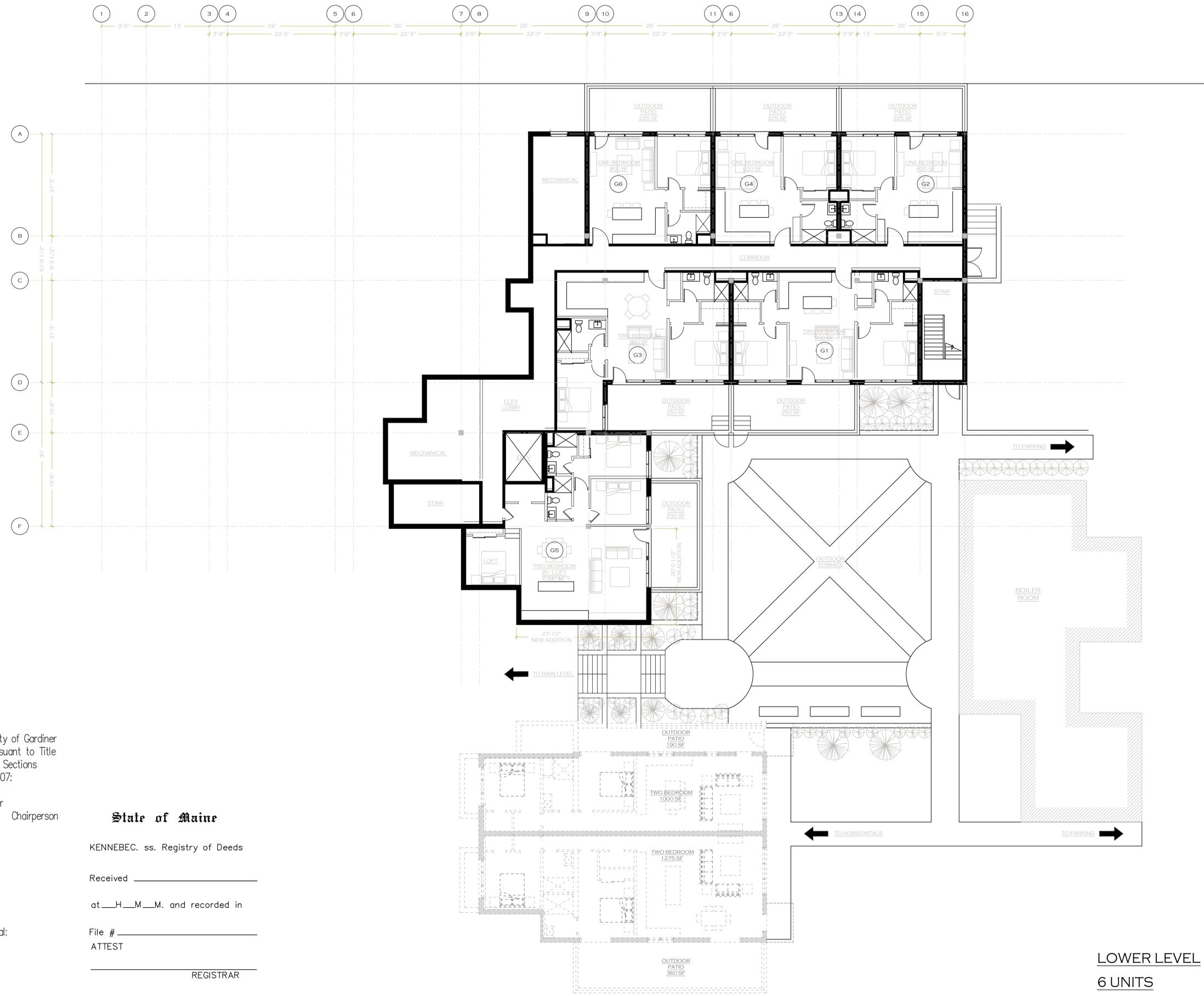
PROPOSED UNDERGROUND ELECTRICAL,
SEE DETAIL SHEET G-4

PROPOSED WALL PACK,
TYPICAL OF 5

IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



NEWPORT COLLABORATIVE ARCHITECTS, INC



Approved by the City of Gardiner Planning Board pursuant to Title 30-A M.R.S.A. Sections 4401-4407:

Member
Chairperson

State of Maine

KENNEBEC. ss. Registry of Deeds

Received _____

at ___H___M___M. and recorded in

File # _____

ATTEST _____

REGISTRAR

Date:
Conditions of approval:

LOWER LEVEL **N**
6 UNITS

Architect of Record:

2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com



Consultants:

Owner:
HATHAWAY HOLDINGS, LLC
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:

GARDINER GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:

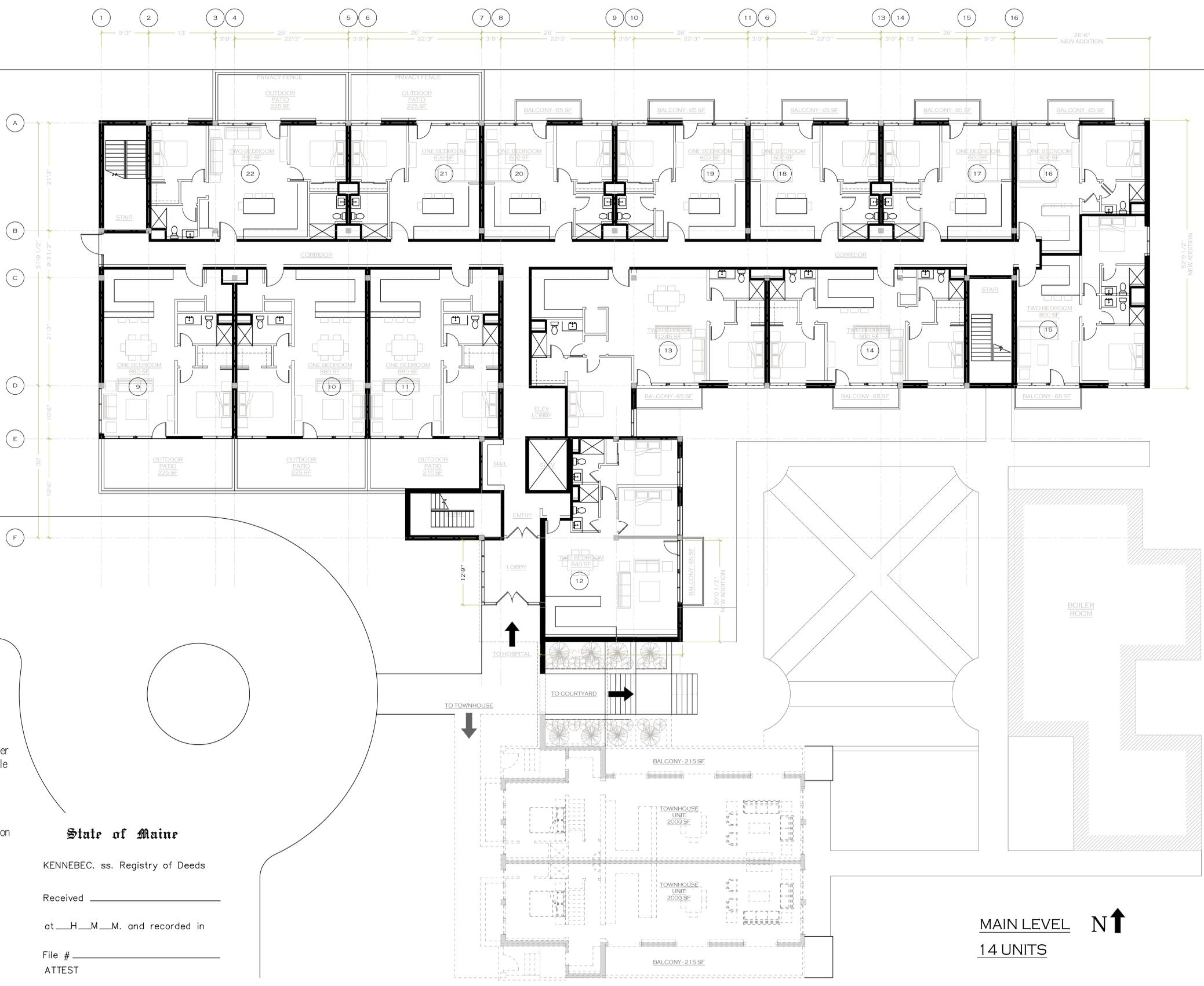
**A-1
LOWER LEVEL
PLAN**

Drawing Scale:
1" = 1'
Project Number:
Date Issued:
04-11-2022

IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



NEWPORT COLLABORATIVE ARCHITECTS, INC



Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

Member
Chairperson

State of Maine

KENNEBEC. ss. Registry of Deeds

Received _____

at ___H___M___M. and recorded in

File # _____

ATTEST

REGISTRAR

Date:
Conditions of approval:

MAIN LEVEL
14 UNITS



Architect of Record:



2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com

Certification:



Consultants:

Owner:

HATHAWAY HOLDINGS, LLC
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number Date Description

Revisions:

Project Name:

GARDINER
GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:

A-2
MAIN
LEVEL
PLAN

Drawing Scale:

1" = 1'

Project Number:

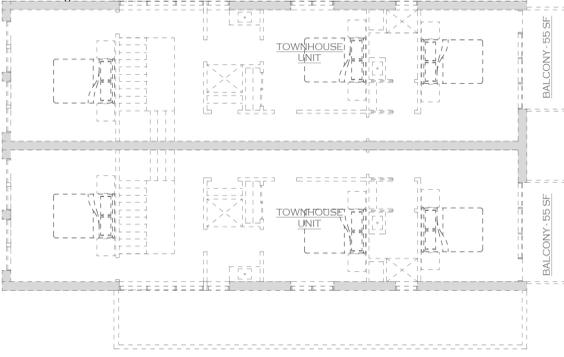
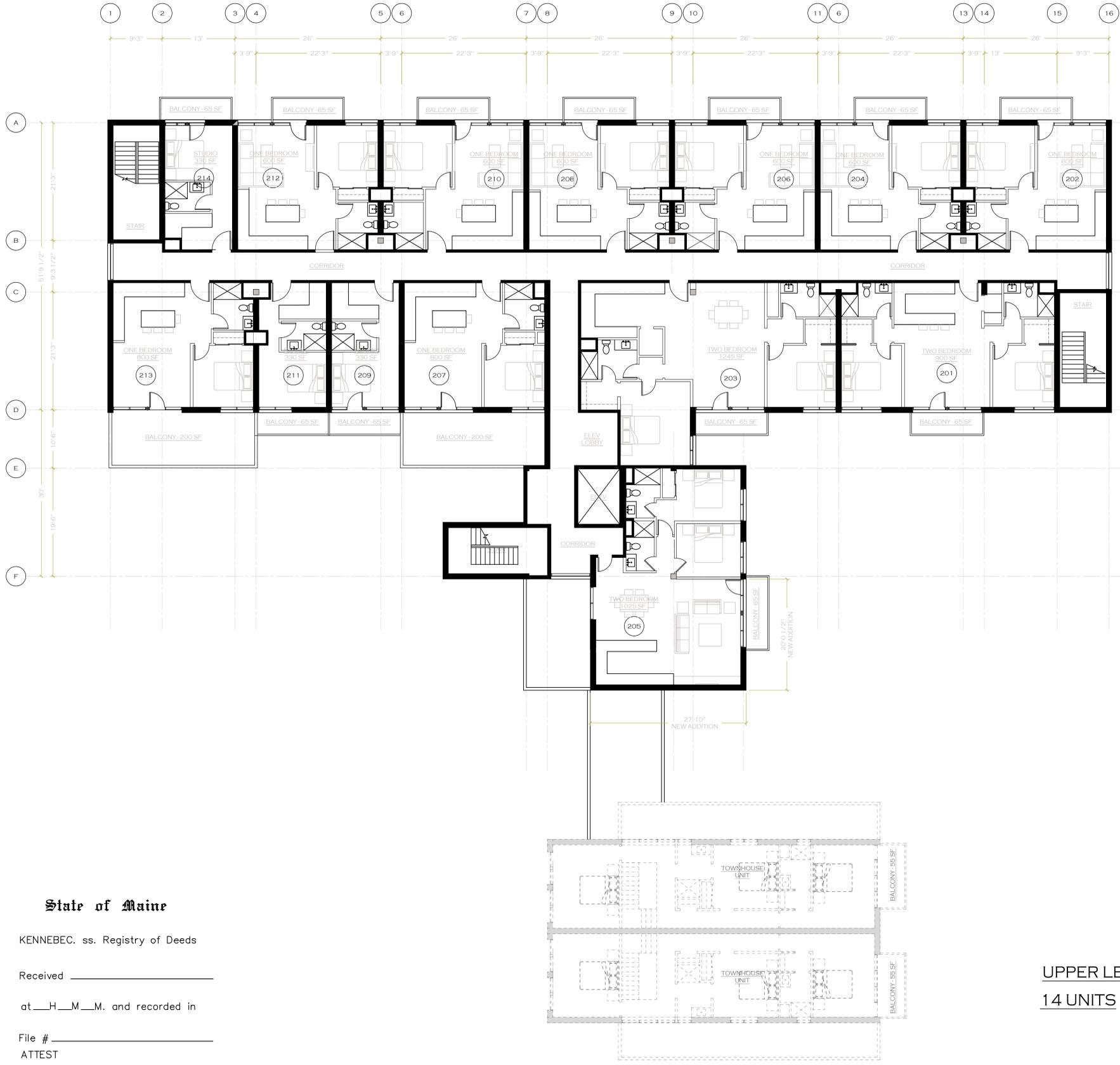
Date Issued:

04-11-2022

IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



NEWPORT COLLABORATIVE ARCHITECTS, INC



UPPER LEVEL N ↑
14 UNITS

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

Member _____
Chairperson _____

State of Maine

KENNEBEC. ss. Registry of Deeds

Received _____

at ___H___M___M. and recorded in

File # _____

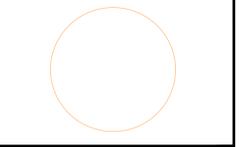
ATTEST _____

REGISTRAR

Date: _____
Conditions of approval: _____

Architect of Record:

2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com



Consultants:

Owner:
HATHAWAY HOLDINGS, LLC
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:

GARDINER
GREEN

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:
A-3
UPPER
LEVEL
PLAN

Drawing Scale: 8" = 1'
Project Number:
Date Issued: 04-11-2022

IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

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SCALE 1/8" = 1'-0"

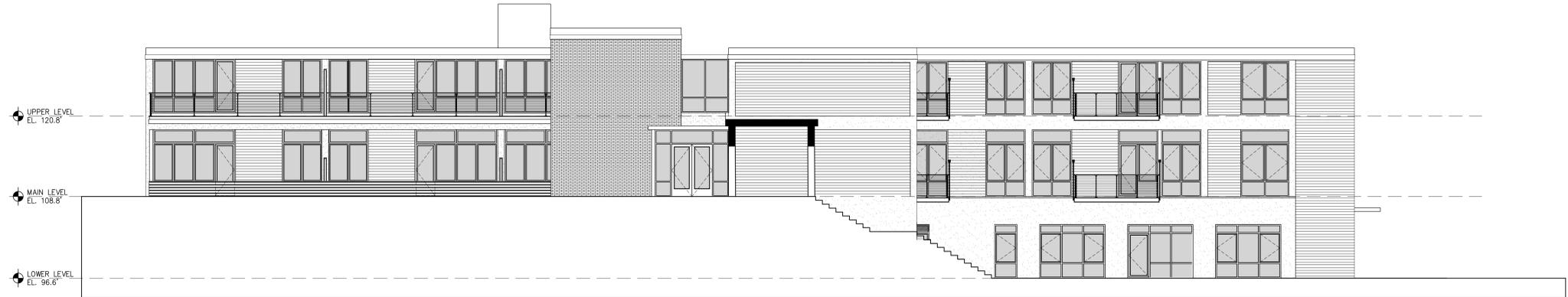
0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

SCALE 1/16" = 1'-0"

NEWPORT COLLABORATIVE ARCHITECTS, INC



NORTH ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION
SCALE 1/8" = 1'-0"

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

Member _____
Chairperson _____

State of Maine

KENNEBEC. ss. Registry of Deeds

Received _____

at ___H___M___M. and recorded in

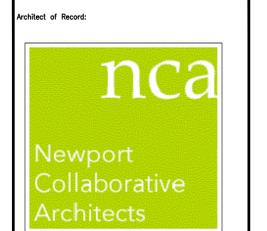
Date: _____

Conditions of approval: _____

File # _____

ATTEST

_____ REGISTRAR



2 Marlborough Street
Newport, RI 02840
Phone: (401) 466-7900
Web Site: newportcollaborativearchitects.com



Consultants:

Owner:
HATHAWAY HOLDINGS, LLC
PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Revisions:

Project Name:
**GARDINER
GREEN**

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:
B-1
NORTH &
SOUTH
ELEVATIONS

Drawing Scale:
1/8" = 1'

Project Number:

Date Issued:
04-11-2022

IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

0 1 2 3 4 5 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48 50

SCALE 1/8"=1'-0"

0 1 2 3 4 5 6 8 10 12 14 16 18 20 22 24 26 28 30 32 34 36 38 40 42 44 46 48 50

SCALE 1/16"=1'-0"

NEWPORT COLLABORATIVE ARCHITECTS, INC



EAST ELEVATION
SCALE 1/8"=1'-0"



WEST ELEVATION
SCALE 1/8"=1'-0"

Approved by the City of Gardiner
Planning Board pursuant to Title
30-A M.R.S.A. Sections
4401-4407:

Member _____
Chairperson _____

State of Maine

KENNEBEC. ss. Registry of Deeds

Received _____

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Conditions of approval: _____

File # _____

ATTEST

_____ REGISTRAR

Architect of Record:

2 Marlborough Street
Newport, RI 02840
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PAUL BOGHOSSIAN
HATHAWAY CENTER
10 WATER STREET BOX 68
WATERVILLE, MAINE 04901

Number	Date	Description

Project Name:
**GARDINER
GREEN**

Submission Type: FOR REVIEW ONLY
NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

Project Type:

Sheet Name:
**B-2
EAST &
WEST
ELEVATIONS**

Drawing Scale:
1" = 1'

Project Number:

Date Issued:
04-11-2022

